

Agenda

Yankton County Commission

6:00 PM, Tuesday, January 5, 2021

Commission Chamber

Yankton County Government Center

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Meeting chaired by: Cheri Loest, Chair

01 Call to order: 6:00 PM **PLEDGE OF ALLEGIANCE**

02 Roll Call: _____ Don Kettering _____ Dan Klimisch
_____ Gary Swensen _____ Joseph Healy _____ Cheri Loest

AGENDA ITEMS

No.	Time	Item Description	Presenter
03	6:00 PM	Abstain Financial Conflict of Interest (SDCL 6-1-17) Non-Financial Interest-Must State Reason for Abstaining	Commissioner Loest
04	6:05 PM	Approval of Agenda Public comment is a time for persons to address this body on any subject. No action may be taken on a matter raised under this item of the agenda until the matter itself has been specifically included on an agenda as an item upon which action will be taken. Each person has up to three minutes to speak. There shall be no personal attacks against the members of this body, county staff, individual, or organizations. The Chair has the authority to enforce this policy. Failure to adhere to these rules may result in forfeiture of the remaining speaking time.	Public Comment
05	6:10 PM	Approval of Minutes from December 15, 2020 and December 29, 2020	
06	6:15 PM	Claims December Payroll	Auditor

07	6:20 PM	2021 Reorganization	Commissioners
08	6:25 PM	Calendar, Committee Assignments, Official Newspapers	Auditor
09	6:30 PM	Food Service Bids for Jail	Jim Vlahakis
10	6:40 PM	Schedule Special Meetings for Property/Liability Insurance Schedule Special Meetings for Article 5 Amendments	Commissioners
11	6:50 PM	Advertise for Director of Equalization Opening	Commissioners
12	6:55 PM	Advertise for Planning Commission Opening	Gary Vetter
Board of Adjustment			
13	7:00 PM	Brad King- Variance and Plat	Gary Vetter
14	7:05 PM	Phil Spady Holdings, Inc. – Conditional Use Permit	Gary Vetter
Regular Session			
15	7:10 PM	Brian and Stephanie Wieman- 1 st Reading Rezone	Gary Vetter
16	7:15 PM	2021 Regular Commission Meeting Times	Commissioners
17	7:30 PM	Public Comments	
18	7:35 PM	Commissioner Updates	Commissioners
19	7:40 PM	Executive Session/Litigation Pursuant to SDCL 1-25-2(3)	Commissioners
		Items for Next Meeting	

YANKTON COUNTY COMMISSION MEETING

December 15, 2020

The regular meeting of the Yankton County Commission was called to order by Chair Cheri Loest at 6:00 p.m. on Tuesday, December 15, 2020.

Roll call was taken with the following Commissioners present: Joseph Healy, Gary Swensen (via Zoom), Dan Klimisch, Don Kettering and Cheri Loest.

There were no conflicts of interest reported by Commissioners.

Action 20546C: A motion was made by Kettering and seconded by Healy to approve the meeting agenda with the following clarification on Item 15. Motion 20509C is changing only the minutes for November 17th not the motion itself. All present voted aye; motion carried.

There were public comments from Matt Rumsey, Kari Rumsey, Bill Tacke and Bob Cap.

Chair Loest closed public comment.

Action 20547C: A motion was made by Klimisch and seconded by Healy to approve the budget supplements for the following departments; \$173,000 for Juvenile Detention, \$400,000 for E911, and Jail Building \$339,000. Klimisch, Healy, Kettering and Loest voting Aye; Swensen voting Nay; motion carried.

Action 20548C: A motion was made by Kettering and seconded by Healy to approve the December 1, 2020 meeting minutes. All present voted Aye; motion carried.

Action 20549C: A motion was made by Healy and seconded by Kettering to approve the following claims: **Commissioners:** Vast Business (Utilities) \$52.50, Boys & Girls Club of Brookings (Other) \$20,000.00, Yankton Transit (Other) \$5,000.00, MSAC (Other) \$3,800.00, EMC Insurance Companies (Professional Services) \$9,140.25, First Bankcard (Supplies) \$369.56, Yankton County Observer (Supplies) \$477.27, MT & RC Smith (2021 Worker's Comp) \$378.00, Yankton Daily P & D (Publishing's) \$1,225.15; **Elections:** Valli Stockland (Mileage-2020 General Election) \$12.90, First Bankcard (Supplies) \$120.34, Qualified Presort Services (Supplies) \$137.17, Secretary of State (Supplies) \$100.00, Verizon (Rentals) \$320.08, Yankton County Treasurer (Cash Items) \$96.84; **Court:** Juror Fees (\$50.00 x 7) \$350.00, Juror Mileage (\$0.84 x 2) \$1.68, Juror Mileage (\$4.20 x 2) \$8.40, Juror Mileage (\$8.40 x 1) \$8.40, Avera Sacred Heart Hospital (Lab) \$624.00, Megan Reeves (Professional Services) \$1,225.20, Den Herder Law Office (Professional Services) \$882.70, Gary Mikelson (Professional Services) \$1,134.00, Ver Beek Law Prof LLC (Professional Services) \$210.49, Fox & Youngberg PC (Professional Services) \$16,236.75, Horn Law Office LLC (Professional Services) \$1,339.50, Kennedy Pier Loftus & Reynolds (Professional Services) \$2,771.20, Psychological Associates (Professional Services) \$2,500.00, Department of Health (Lab November 2020) \$565.00, Dean Schaefer (Professional Services) \$1,177.00, Thomson

Reuters (Supplies) \$77.25; **Auditor:** Vast Business (Utilities) \$175.00, Culligan (Supplies) \$28.00, First Bankcard (Supplies) \$84.14, Leaf (Rentals) \$159.00, McLeod's Printing & Office Supply (Supplies) \$33.70, Qualified Presort Services (Supplies) \$136.10, MT & RC Smith (2021 Worker's Comp) \$1,173.89, One Office Solution (Maintenance) \$489.12, One Office Solution (Supplies) \$151.10, Security Shredding (Maintenance) \$35.00; **Treasurer:** Vast Business (Utilities) \$209.09, Culligan (Supplies) \$35.00, Qualified Presort Services (Supplies) \$427.07, MT & RC Smith (2021 Worker's Comp) \$1,371.41, One Office Solution (Supplies) \$837.50; **Data:** Vast Business (Utilities) \$832.83, First Bankcard (Maintenance) \$52.54; **States Attorney:** Century Business Products (Rentals) \$443.12, Robert Klimisch (Supplies) \$165.00, SD State's Attorney Association (Travel) \$1,323.00, MT & RC Smith (2021 Worker's Comp) \$348.00, Staples Credit Plan (Supplies) \$1,132.69; **Government Center Building:** Kopetsky's Ace Hardware (Supplies) \$38.39, Bomgaars (Supplies) \$19.97, Vast Business (Utilities) \$26.25, First Bankcard (Maintenance) \$81.61, Heiman Inc. (Maintenance) \$348.00, JCL Solutions (Supplies) \$374.39, Menards (Supplies) \$319.34, MidAmerican Energy (Utilities) \$585.14, Olson's Pest Technicians (Maintenance) \$82.00, MT & RC Smith (2021 Worker's Comp) \$1,714.00; **Director of Equalization:** IAAO (Membership Dues) \$220.00, Vast Business (Utilities) \$229.50, EcoWater Systems (Supplies) \$30.00, Data Cloud Solutions LLC (Maintenance) \$5,140.80, Schneider Geospatial LLC (Maintenance) \$11,340.00, First Bankcard (Supplies) \$646.16, JJ Benji (Supplies) \$749.20, Microfilm Imaging Systems (Maintenance) \$70.00, Qualified Presort Services (Supplies) \$94.80, MT & RC Smith (2021 Worker's Comp) \$1,954.00, Security Shredding Services (Maintenance) \$35.00, Verizon (Maintenance) \$162.03, One Office Solution (Supplies) \$23.12, One Office Solution (Maintenance) \$126.04; **Register of Deeds:** Vast Business (Utilities) \$177.57, Microfilm Imaging Systems (Rentals) \$336.00, Qualified Presort Services (Supplies) \$32.55, MT & RC Smith (2021 Worker's Comp) \$920.28, One Office Solution (Supplies) \$62.31, One Office Solution (Maintenance) \$10.39; **VA:** Vast Business (Utilities) \$26.25, Dataspec Inc. (Maintenance) \$449.00, Michael McDonald (Supplies) \$22.78, MT & RC Smith (2021 Worker's Comp) \$274.32, One Office Solution (Supplies) \$75.99; **Safety Center Building:** Vast Business (Utilities) \$807.45, City of Yankton (Utilities) \$160.00, Cole Papers Inc. (Supplies) \$898.76, Heiman Inc. (Maintenance) \$1,136.11, Johnson Controls Inc. (Maintenance) \$547.41, MidAmerican (Utilities) \$1,558.06, Olson's Pest Technicians (Maintenance) \$133.00, MT & RC Smith (2021 Worker's Comp) \$1,693.00; **Sheriff:** City of Yankton (Professional Services) \$1,686.69, Xtreme Car Wash (Maintenance) \$93.00, Culligan (Supplies) \$28.00, Cardmember Services (Fuel) \$15.00, Rod Pieper (Fuel) \$10.15, Safariland LLC (Travel) \$895.00, Leaf (Maintenance Contracts) \$293.52, Northtown Automotive (Maintenance) \$181.26, Qualified Presort Services (Maintenance Contracts) \$91.18, MT & RC Smith (2021 Worker's Comp) \$14,215.00, South Dakota Sheriff's Association (Uniforms) \$408.70, Security Shredding Services (Maintenance Contracts) \$35.00, One Office Solution (Supplies) \$242.78, Yankton County Treasurer (Cash Items) \$30.00, Yankton Daily P & D (Publishing's) \$31.08; **County Jail:** Avera Sacred Heart Hospital (Vaccinations) \$533.13, Avera Medical Group (Professional Services) \$1,957.00, Bob Barker Company (Mattress Replacement) \$641.55, Jerry Sorbel (Professional Services) \$345.00, Culligan (Food Services) \$27.00, Summit Food Services, LLC (Food Services) \$8,737.42, McKesson Medical (Professional Services) \$482.12, Jacks Uniforms & Equipment (Uniforms) \$247.79, JCL Solutions (Supplies) \$838.69, Menards

(Supplies) \$95.44, Olson's Pest Technicians (Maintenance) \$110.00, Correctional Risk Services (Inmate Medical Liab Ins) \$799.13, MT & RC Smith (2021 Worker's Comp) \$17,112.00, Strachan Sales Inc. (Food Services) \$7,735.00, Vogt's Cleaners (Uniforms) \$8.00, One Office Solution (Supplies) \$391.41, One Office Solution (Maintenance Contracts) \$84.50, Yankton Rexall Drug Co (Professional Services) \$478.38; **Juvenile Detention:** Minnehaha County Juvenile Detention Center (Rentals) \$16,621.46; **YASR:** Kopetsky's Ace Hardware (Supplies) \$104.52, Kopetsky's Ace Hardware (Maintenance) \$189.23, Paul Scherschligt (Supplies) \$126.29; **Contact Center:** Qualified Presort Services (Supplies) \$111.40, Thomson Reuters (Supplies) \$77.25; **Public Welfare:** Pathways Shelter for the Homeless (2020 Allotment) \$10,000.00; **Public Health Nurse:** Vast Business (Utilities) \$245.25, TIAA Commercial Finance (Rentals) \$90.96, Qualified Presort Services (Supplies) \$47.88, MT & RC Smith (2021 Worker's Comp) \$438.00; **Ambulance:** Kopetsky's Ace Hardware (Supplies) \$513.79, AT & T (Utilities) \$36.05, Teleflex Funding LLC (Supplies) \$2,010.50, Vast Business (Utilities) \$178.10, Yankton Auto Body (Maintenance) \$208.81, Bound Tree Medical LLC (Supplies) \$2,113.35, City of Yankton (Fuel) \$338.78, Coast to Coast Solutions (Supplies) \$337.50, Cintas (Supplies) \$68.13, Quick Med Claims (Professional Services) \$3,718.52, First Bankcard (Fuel) \$542.58, Fox Run Quik Lube (Supplies) \$146.73, Gayville First Responder (First Responder Reimbursement) \$1,030.00, Heiman Inc. (Maintenance) \$142.88, Irene First Responder (First Responder Reimbursement) \$1,030.00, Leaf (Rentals) \$81.43, Lake Area First Responder (First Responder Reimbursement) \$1,030.00, Lesterville First Responder (First Responder Reimbursement) \$1,030.00, Matheson Tri-Gas Inc. (Rentals) \$78.35, Matheson Tri-Gas Inc. (Supplies) \$235.73, Menards (Supplies) \$233.81, Northwestern Energy (Utilities) \$989.33, Olson's Pest Technicians (Maintenance) \$114.00, Overhead Door Company (Supplies) \$62.50, Qualified Presort Services (Supplies) \$17.18, MT & RC Smith (2021 Worker's Comp) \$15,373.00, Security Shredding Services (Maintenance) \$35.00, Verizon (Utilities) \$304.79, Volin First Responder (First Responder Reimbursement) \$1,030.00, One Office Solution (Supplies) \$3,462.97, One Office Solution (Maintenance) \$111.90, Yankton Janitorial Supply (Supplies) \$340.20; **Mental Handicapped:** SD Achieve dba LifeScape (Care-MI November 2020) \$300.00; **Mental Illness Board:** Darcy Lockwood (Hearings) \$12.00, Mark Katterhagen (Hearings) \$12.00, Lincoln County Treasurer (Hearings) \$2,215.60, Lucille M Lewno (Hearings) \$325.00, Minnehaha County Auditor's Office (Hearings) \$158.50; **Library:** Yankton Community Library (2nd Half 2020 Allotment) \$7,500.00; **Senior Citizens:** City of Yankton (4th Qtr 2020 Allotment) \$3,656.47; **County Extension:** Buhl's Cleaners (Supplies) \$56.73, Vast Business (Utilities) \$818.83, SDSU Extension (Travel) \$28.91, Hy-Vee (Other) \$19.80, Leaf (Rentals) \$421.86, MidAmerican Energy (Utilities) \$58.27, Northwestern Energy (Utilities) \$169.40, MT & RC Smith (2021 Worker's Comp) \$803.00, Trophy Place (Other) \$103.50, One Office Solution (Supplies) \$236.19, Yankton County Leaders (Grounds Maintenance) \$4,021.61; **Soil Conservation:** MT & RC Smith (2021 Worker's Comp) \$229.60; **Weed:** Christensen Radiator & Repair (Supplies) \$796.00, Fastenal Industrial & Construction Supply (Supplies) \$45.52, MT & RC Smith (2021 Worker's Comp) \$1,543.00, Yankton County Treasurer (Cash Items) \$21.20; **Drainage Comm:** MSAC (2021 Annual Membership) \$1,000.00; **Planning & Zoning:** Vast Business (Utilities) \$62.50, Leaf (Rentals) \$104.86, Microfilm Imaging Systems (Rentals) \$70.00, Pheasantland Industries (Supplies) \$45.48, Qualified Presort Services

(Supplies) \$1.38, MT & RC Smith (2021 Worker's Comp) \$778.51, Verizon (Utilities) \$42.00, One Office Solution (Supplies) \$95.00, One Office Solution (Maintenance) \$154.98, Yankton Daily P & D (Publishing's) \$2,713.34; **Road & Bridge:** Appeara (Supplies) \$126.21, Bomgaars (Supplies) \$51.96, B-Y Electric (Utilities) \$50.68, Butler Machinery Co (Maintenance) \$420.00, Vast Business (Utilities) \$228.20, Cox Auto Supply Inc. (Supplies) \$194.37, Concrete Materials (Supplies) \$390.00, Clark Engineering (Maintenance) \$8,937.50, Direct TV (Utilities) \$83.99, CHS Inc. (Supplies) \$2,972.70, CHS Inc. (Fuel) \$1,421.46, Filter Care of Nebraska (Supplies) \$64.15, Fischer Gravel (Supplies) \$1,800.00, Graham Tire Yankton (Maintenance) \$80.80, Hollaway Construction Co. (Bridges) \$113,179.98, Janssen's Garbage Services (Utilities) \$45.00, Kimball Midwest (Supplies) \$181.57, L & L Machine Shop (Supplies) \$143.04, MidAmerican Energy (Utilities) \$410.84, Riverside Hydraulics (Supplies) \$163.07, Riverside Hydraulics (Maintenance) \$140.00, MT & RC Smith (2021 Worker's Comp) \$25,690.00, SD Department of Transportation (Professional Services) \$3,351.88, SD Department of Transportation (Annual Projects) \$39,241.33, Spencer Quarries Inc. (Supplies) \$10,910.50, Slowey Construction Inc. (Supplies) \$522.96, Southeastern Electric (Utilities) \$53.92, Verizon (Utilities) \$86.88, Winter Equipment Co (Supplies) \$27,536.12, One Office Solution (Supplies) \$278.24, Yankton Janitorial Supply (Supplies) \$176.40, Yankton Redi Mix (Supplies) \$2,760.00; **Emergency 911 Fund:** Vast Business (Utilities) \$1,243.87, City of Yankton (4th Qtr 2020 Allotment) \$29,348.25, Golden West Telecommunications (Utilities) \$147.21; **Emergency Management:** Kopetsky's Ace Hardware (Disaster Plan) \$17.06, Kopetsky's Ace Hardware (Maintenance) \$21.14, Kopetsky's Ace Hardware (Supplies) \$358.68, Allegiant Emergency Services (Disaster Plan) \$2,161.50, Bomgaars (Supplies) \$119.93, B-Y Electric (Utilities) \$31.31, TIAA Commercial Finance (Rentals) \$193.15, Xtreme Car Wash (Maintenance) \$32.00, Clarks Rentals Inc. (Disaster Pan) \$55.00, Powers Port A Pot (Disaster Plan) \$200.00, Poet Nutrition (Disaster Plan) \$2,620.80, First Bankcard (Disaster Plan) \$2,000.60, First Bankcard (Professional Services) \$159.74, First Bankcard (Supplies) \$258.14, Hansen Locksmithing Inc. (Supplies) \$86.00, Heiman Inc. (Maintenance) \$75.00, Leaf (Rentals) \$90.00, Midcontinent Communications (Utilities) \$172.47, Menards (Disaster Plan) \$100.08, Menards (Supplies) \$30.99, Master-Tech Auto Clinic (Maintenance) \$361.70, Northtown Automotive (Maintenance) \$571.74, MT & RC Smith (2021 Worker's Comp) \$978.00, Two Way Solutions Inc. (Disaster Plan) \$46,690.95, Truck Trailer Sales Services (Maintenance) \$319.06, Tabor Lumber Cooperative (Supplies) \$205.79, Verizon (Utilities) \$832.21, One Office Solution (Supplies) \$178.02, One Office Solution (Disaster Plan) \$205.68; **24/7 Sobriety Fund:** Sobriety Testing (Refunds) \$40.00, Pharmchem Inc. (Supplies) \$4,181.45; **Non-Departmental:** Satellite Tracking of People (Tracking Monitors) \$656.50, Cam Daily Fee (Refund) \$72.00, SCRAM (Refund) \$180.00, State Participation (Refund) \$13.00, Byron Nogelmeier (Cam Daily Fee) \$2,777.00, SD Department of Revenue (HSC Services) \$8,256.28, SD Department of Revenue (Redfield Services) \$60.00, SD Department of Revenue (Motor Vehicle Fees) \$341,061.68, SD Department of Revenue (Waste Fees) \$4,253.75, SD Department of Revenue (ROD Fees) \$1,940.00, SDACO (M & PR Fund) \$738.00; General Fund \$274,530.29, Road & Bridge, \$241,693.75, Emergency Management, \$59,126.74. All present voted Aye; motion carried.

Action 20550AUD: A motion was made by Kettering and seconded by Healy to approve the Auditor's Monthly Settlement with the Treasurer and Pooled Cash report as of November 30, 2020 which showed Total Cash of \$10,801,397.95. The General Fund was \$5,999,334.25; Special Funds were \$2,529,351.74; and Trust and Agency Funds were \$2,272,711.96 adding to a Grand Total of General Ledger Cash and Investments of \$10,801,397.95. A detailed report is on file with the County Auditor. All present voted Aye; motion carried.

Action 20551AUD: A Motion was made by Klimisch and seconded by Kettering to approve the Juvenile Detention Center agreement with Minnehaha County for 2021. Klimisch, Kettering, Healy and Loest voting Aye; Swensen Voting Nay; Motion carried, 4-1.

Action 20552C: A motion was made by Klimisch and seconded by Healy to approve the renewal of the County's agreement for provider services with the S.D. Department of Health. The agreement is made for the purposes of providing clerical services for the Women, Infants and Children (WIC) Program in Yankton County. All present voted Aye; motion carried.

COVID-19 Resolution: Emergency Management Director Paul Scherschligt appeared before the board for approval of the COVID-19 Emergency Resolution.

Action 20553OEM: A motion was made by Healy and seconded by Klimisch to approve the following resolution. Kettering, Klimisch, Healy and Loest voting Aye; Swensen Voting Nay; Motion carried, 4-1.

**YANKTON COUNTY BOARD OF COUNTY COMMISSIONERS
YANKTON COUNTY, SOUTH DAKOTA**

**NOVEL CORONAVIRUS (COVID-19) EMERGENCY HEALTH DECLARATION
RESOLUTION NO. 20-9**

WHEREAS, COVID-19, a respiratory disease that can result in serious illness or death, is a new strain of coronavirus that had not been previously identified in humans and can easily spread from person-to-person; and,

WHEREAS, on March 11, 2020, the World Health Organization declared COVID-19 a pandemic; and,

WHEREAS, as of Dec 15, 2020, there are currently two thousand two hundred forty-one positive cases, and Seventeen hundred ninety-one recovered, four hundred thirty-three active case and seventeen deaths of COVID-19 within Yankton County, State of South Dakota; and,

WHEREAS, the Centers for Disease Control and Prevention recommend certain actions for the preparation and mitigation of community transmission of COVID-19, including social distancing measures and wearing a mask: and,

WHEREAS, COVID-19 cases, hospitalizations, and deaths across the United States are rising; and,

WHEREAS, with cold weather moving in, people spend more time indoors, and as the holidays approach, steps are needed to slow the spread of COVID-19; and,

WHEREAS, wearing a mask, staying at least 6 feet apart, avoiding crowds, and washing your hands often are steps essential to protect against COVID-19; and,

WHEREAS, wearing a mask helps protect others in our community in public settings including public transportation, at events and gatherings, and anywhere you will be around other people; and,

WHEREAS, the outbreak of COVID-19 and the effects of its extreme risk of person-to-person transmission throughout Yankton County significantly impacts the life and health of Yankton County citizens and is a public disaster that affects the public peace, health and safety; and,

WHEREAS, pursuant to SDCL 7-18A-8, the adoption of a resolution may take effect immediately for the preservation of public peace, health, or safety.

NOW THEREFORE, BE IT RESOLVED, the Yankton County Commission, as a result of the above-noted situation, does hereby adopt the following:

- A. Proclaims that a State of Emergency remains in Yankton County, South Dakota;
- B. And by the recommendation of the Yankton County Office of Emergency Management department and Yankton County Board of Health, encourage Yankton County residents and all its visitors to follow the CDC guidelines of social distancing and the wearing of masks when out in the public in an effort to respond to and recover from the COVID-19 pandemic.

Dated this 15 day of December, 2020.

Yankton County Chairperson, Cheri Loest /s/

ATTEST: Patty Hojem, Yankton County Auditor /s/

County Insurance: Roger Smith presented a quote for the property and liability insurance for the County.

SD Public Assurance: Lynn Bren presented a quote for the property and liability insurance for the County. Commissioners Klimisch and Kettering will compile information from both of the quotes and present at the next meeting.

Historical Society: Bernie Hunhoff from the Yankton County Historical Society appeared before the board to request approval of two new board members and report on the group's activities.

Action 20554C: A motion was made by Klimisch and seconded by Healy to approve the appointment of Greg Kouri and Shanna Ibarolle to the Yankton County Historical Commission. All present voted Aye; motion carried.

Highway: Highway Superintendent Mike Sedlacek appeared for approval of two entrance applications and report on work being done in the county.

Action 20555Hwy: A motion was made by Healy and seconded by Klimisch to approve Entrance application from White Crane Estates in Township 93-56. All present voted Aye; motion carried.

Action 20556Hwy: A motion was made by Healy and seconded by Kettering to approve Entrance application from Whitetail Run in Township 93-56. All present voted Aye; motion carried.

Action 20557Z: A motion was made by Klimisch and seconded by Healy to adopt the following resolution. Whereas it appears, Baycliffe Estates, owners of record, have caused a plat to be made of the following real property: Lot 23, T93N-R56W, County of Yankton, S.D., and has submitted such plat to the Yankton County Planning Commission and the Yankton County Commission for approval. Now therefore be it resolved that such plat has been executed according to law and conforms to all existing applicable zoning, subdivision and erosion and sediment control and the same is hereby approved. The County Auditor is hereby authorized and directed to endorse on such the proper resolution and certify the same. Klimisch, Healy, Kettering and Loest voted Aye; motion carried, 4-0.

Accessory Structures: Planning and Zoning Administrator Gary Vetter appeared before the board to receive guidance on shouses requesting additional accessory structures. It was the consensus of the board to follow the outline instruction in the Yankton County Zoning Ordinance.

Action 20558C: A motion was made by Klimisch and seconded by Kettering to recess the commission meeting for five minutes. All present voted Aye; motion carried.

Action 20559C: A motion was made by Klimisch and seconded by Kettering to reconvene. All present voted Aye; motion carried.

PUD Rezone: The board discussed amending the Motion 20509C from the November 17th commission meeting.

Action 20560Z: A motion was made by Healy and seconded by Kettering to open the November 17, 2020 minutes for amendment. Healy, Kettering, Swensen and Loest voting Aye; and Klimisch voting Nay; motion carried 4-1

The following motion 20509C from November 17, 2020 minutes was presented for amendment.

To approve these on the following conditions: need to have a 25-foot setback from neighboring properties, rip rap on 305th St. of guaranteed lake access to the current landowners, septic systems need to meet DENR requirements and there needs to be before water can be pumped there needs to be agreement with the downstream landowners for one mile and upstream landowners for half a mile and I'm basing this on the comprehensive plan page 125 promoting economic diversification and presenting a positive image and attitude toward economic development.

Action 20561C: A motion was made Kettering and seconded by Healy to approve the amended motion to the proposed language presented here. Kettering, Healy, Swensen and Loest voting Aye; and Klimisch abstained; motion carried 4-0.

Action 20562C: A motion was made by Healy and seconded by Kettering to close the November 17, 2020 minutes. Healy, Kettering, Swensen and Loest voting Aye; and Klimisch abstained; motion carried 4-0.

Salary Matrix: The board discussed the proposed County Salary Matrix. Chair Loest requested the board send their thoughts and she would present the findings at the next commission meeting.

There were public comments from Matt Evans and Kari Rumsey.

Chair Loest closed public comment.

Gary Swensen commented on COVID-19.

Commissioner updates: Items mentioned included: JDAI meeting, Board of Health, meeting with Amy Leon and the three Yankton County legislators, resolution of support from Hutchinson County for the Stone Church Bridge, and the position for the Soil Conservation.

Action 20563C: A motion was made by Kettering and seconded by Healy to recess the regular session at 9:00 pm and convene in executive session to discuss personnel issues SDCL 1-25-2(1) and Poor Relief Issues SDCL 1-25-2 & 28-13. All present voted Aye; motion carried.

Action 20564C: A motion was made by Kettering and seconded by Klimisch to adjourn the executive session at 9:50 pm and reconvene in regular session. All present voted Aye; motion carried.

Action 20565C: A motion was made by Klimisch and seconded by Kettering to approve to pay \$1,250.00 for burial expenses for case #1. All present voted Aye; motion carried.

Action 20566C: A motion was made by Healy and seconded by Klimisch to adjourn. All present voted Aye; motion carried.

The next regular meeting will be Tuesday, January 5, 2021 at 6:00 p.m.

Cheri Loest, Chair
Yankton County Commission

ATTEST:
Patty Hojem, County Auditor

YANKTON COUNTY COMMISSION MEETING

December 29, 2020

A special meeting of the Yankton County Commission was called to order by Chair Cheri Loest at 10:00 a.m. on Tuesday, December 29, 2020.

Roll call was taken with the following Commissioners present: Dan Klimisch, Joseph Healy, Don Kettering, Gary Swensen (via Zoom) and Cheri Loest.

There were no conflicts of interest reported by Commissioners.

Action 20567C: A motion was made by Kettering and seconded by Klimisch to approve the meeting agenda. All present voted aye; motion carried.

There was one public comment from Gary Swensen.

Chair Loest closed public comment.

The board discussed the quotes from SD Public Assurance and M.T. & R.C. Smith Insurance for the property and liability insurance for the County. Lynn Bren representing (via Zoom) SD Public Assurance and Ryan Elwood representing Smith Insurance were on hand for any questions.

Action 20568C: A motion was made by Klimisch and seconded by Kettering to approve the \$3 million coverage with three year retro coverage with SD Public Assurance and the option to keep Roger Smith as the county's agent if he chooses. Roll call vote was taken with Klimisch and Swensen voting aye; Kettering, Healy and Loest voting nay; motion failed, 2-3.

Action 20569C: A motion was made by Healy and seconded by Kettering to renew the property and liability insurance from M.T. & R.C. Smith as presented at the December 15th commission meeting. Roll call vote was taken with Healy, Kettering, Klimisch and Loest voting aye; Swensen abstained; motion carried, 4-0.

The Auditor presented contingency transfers as follows: Commissioners \$21,300; Elections \$13,700; Auditor \$200; Treasurer \$3,800; State Attorney \$3,000; CLERP \$8,400; Government Buildings \$7,700; Public Health Nurse \$4,000; Mental Illness Board \$9,000; Emergency Management \$78,800; County Buildings \$66,900; Historical Preservation \$200.

Action 20570A: A motion was made by Healy and seconded by Kettering to approve the contingency transfers as presented. All present voted aye; motion carried.

The board discussed assigning Covid Recovery Funds (CRF). The county was slated to receive \$1,507,088, but with other counties not using their funds, the county has received \$1,856,132.03 as of December 29, 2020.

Action 20571C: A motion was made by Kettering and seconded by Klimisch to assign CRF dollars as listed: COVID Response \$50,000.00; States Attorney \$50,000.00; Highway Department \$1,106,132.03; James River Bridges \$650,000.00. Kettering, Klimisch, Healy and Loest voted aye; Swensen abstained; motion carried, 4-0.

Action 20572C: A motion was made by Klimisch and seconded by Healy to combine assigned dollars from Fleeges Bridge into bridges to be renamed James River Bridges. Klimisch, Healy, Kettering and Loest voted aye; Swensen abstained; motion carried, 4-0.

Action 20573C: A motion was made by Healy and seconded by Kettering to approve the following claims: **Commissioners:** Dan Klimisch (Travel) \$33.60; **Court:** Certified Languages International (Professional Services) \$94.05; **Auditor:** Thomson Reuters (Supplies) \$75.02; **Treasurer:** Scantron (Maintenance) \$232.00; **States Attorney:** Executive MGMT Finance (Supplies) \$53.25, Miller Consulting LLC (Maintenance) \$2,100.00; **Government Center Building:** City of Yankton (Utilities) \$1,494.89, Johnson Electric Co (Professional Services) \$153.06, United Laboratories Inc. (Supplies) \$299.87; **Director of Equalization:** Verizon (Maintenance) \$162.03; **Register of Deeds:** Executive MGMT Finance (Supplies) \$53.25; **Safety Center Building:** City of Yankton (Utilities) \$456.26, Northwestern Energy (Utilities) \$6,761.82, United Laboratories Inc. (Supplies) \$149.94; **Sheriff:** Motorola Solutions Inc. (Equipment) \$16,934.88, Two Way Solutions (Equipment) \$900.00; **County Jail:** Avera Sacred Heart Hospital (Professional Services) \$1,729.87, Diamond Drugs (Professional Services) \$433.84, Summit Food Services, LLC (Food Services) \$2,983.73, Advanced Diagnostic Solutions (Supplies) \$28.00, Hy-Vee (Professional Services) \$193.51, JCL Solutions (Supplies) \$178.58, Menards (Supplies) \$9.90; **Contact Center:** Hansen Locksmithing Inc. (Supplies) \$12.00; **Ambulance:** City of Yankton (Utilities) \$125.78, MidAmerican Energy (Utilities) \$463.40, United Laboratories Inc. (Supplies) \$149.93; **Mental Illness Board:** Darcy Lockwood (Hearings) \$57.00, Mark Katterhagen (Hearings) \$57.00, Lucille M Lewno (Hearings) \$833.00; **County Extension:** Vast Business (Utilities) \$398.77, City of Yankton (Utilities) \$73.38; **Road & Bridge:** B-Y Water District (Utilities) \$81.75, Butler Machinery Co (Supplies) \$610.79, City of Yankton (Supplies) \$81.79, CenturyLink (Utilities) \$68.19, Clarks Rentals Inc. (Rentals) \$1,222.75, Turner County Hwy Department (Machinery) \$10,000.00, Graham Tire Yankton (Maintenance) \$17,569.36, Midwest Striping (Supplies) \$5,096.52, Northwestern Energy (Utilities) \$112.61, Vermillion Yankton Joint Solid Waste (Utilities) \$448.40; **Emergency 911 Fund:** CenturyLink (Utilities) \$72.08, Midcontinent Communications (Utilities) \$115.00; **Emergency Management:** MidAmerican Energy (Utilities) \$25.22; **Government Buildings:** Andersen Telecom LLC (Maintenance) \$125.00; General Fund \$37,681.61, Road & Bridge, \$35,292.16, Emergency Management, \$25.22. All present voted aye; motion carried.

Action 20574AUD: A motion was made by Kettering and seconded by Healy to approve the budgeted cash transfer of \$130,000.00 from the General Fund to Emergency Management Services. All present voted aye; motion carried.

Highway: Highway Superintendent Mike Sedlacek appeared to give an FEMA update, Big Grant assignments and an entrance application from Aaron Peterson.

Action 20575Hwy: A motion was made by Klimisch and seconded by Healy to approve the entrance application from Aaron Peterson in Township 93-56. All present voted aye; motion carried.

Action 20576C: A motion was made by Klimisch and seconded by Kettering to recess the commission meeting for five minutes. All present voted aye; motion carried.

Action 20577C: A motion was made by Kettering and seconded by Swensen to reconvene. All present voted aye; motion carried.

Action 20578C: A motion was made by Kettering and seconded by Healy to extend the County Health Board to December 31, 2021. All present voted aye; motion carried.

Brian Hunhoff, Register of Deeds, addressed the proposed county salary matrix. Hunhoff asked that Deputy and Chief Deputy positions in the Auditor, Treasurer and Register of Deeds offices be moved up one grade from how they were ranked in the third draft of the matrix.

Salary Matrix: Chair Loest presented changes to the proposed county salary matrix. After discussion, it was agreed to move Chief Deputy and Deputy positions to step 7 and step 6 for Auditor, Treasurer and Register of Deeds. Other positions moved up were Deputy Director of Equalization and Deputy Planning and Zoning to step 9, and Veterans Service Officer to step 6.

Matt Archer spoke on the salary matrix.

Action 20579C: A motion was made by Kettering and seconded by Healy to adopt the County Salary Matrix with the changes stated. All present voted aye; motion carried.

Action 20580: A motion was made by Klimisch and seconded by Kettering approve the hiring of Sarah Ruml as Soil Conservation District Manager. All present voted aye; motion carried.

WIFI: Commissioner Klimisch said he will get quotes for the upgrade to the county WiFi and present to the board.

The board discussed the 2021 regular commission meeting times. Commissioner Klimisch suggested they wait to discuss the issue when the newly elected commissioner is present in January.

There was one public comment from Gary Swensen.

Chair Loest closed public comment.

Action 20581C: A motion was made by Healy and seconded by Klimisch to adjourn. All present voted aye; motion carried.

The next regular meeting will be Tuesday, January 5, 2021 at 6:00 p.m.

Cheri Loest, Chair
Yankton County Commission

ATTEST:
Patty Hojem, County Auditor

VENDOR SET: 01 Yankton County

ITEMS PRINTED: PAID, UNPAID

PACKET: 01973 LYNDSEY 01-05-2021 CLAIMS

FUND : 101 GENERAL FUND

DEPARTMENT: 111 COMMISSIONERS

BANK: ALL

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-00029	SDACC	I-202012306596	101-5-111-42700	2021 DUES-COMMISSIONERS		3,866.00
01-00029	SDACC	I-202012306596	101-5-111-42700	2021 DUES-COMMISSIONERS		28.05
01-14001	YANKTON COUNTY OBSERVER	I-202012306606	101-5-111-42700	PUBLISHINGS-COMMISSIONERS		370.69
01-18103	SD DEPARTMENT OF HEALTH	I-202012296584	101-5-111-42200	PROF SERVICES-COMMISSIONERS		920.00
01-19070	THE TROPHY PLACE	I-202012296585	101-5-111-42600	SUPPLIES-COMMISSIONERS		31.95
				DEPARTMENT 111 COMMISSIONERS	TOTAL:	5,216.69

VENDOR SET: 01 Yankton County

ITEMS PRINTED: PAID, UNPAID

PACKET: 01973 LYNDSEY 01-05-2021 CLAIMS

FUND : 101 GENERAL FUND

DEPARTMENT: 120 ELECTIONS

BANK: ALL

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-10467	KANSAS STATE BANK	I-202012296576	101-5-120-42400	LEASE AGREEMENT-ELECTIONS		284.57
01-21042	VERIZON	I-202012306613	101-5-120-42400	RENTALS-ELECTIONS		320.08
DEPARTMENT 120 ELECTIONS						TOTAL: 604.65

VENDOR SET: 01 Yankton County

ITEMS PRINTED: PAID, UNPAID

PACKET: 01973 LYNDSEY 01-05-2021 CLAIMS

FUND : 101 GENERAL FUND

DEPARTMENT: 130 COURT

BANK: ALL

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-02896	HARMELINK & FOX LAW OFF	I-202012296568	101-5-130-42200	PROF SERVICES-CRT		3,660.36
01-03207		I-202012296557	101-5-130-42210	JUROR FEES-CRT		50.00
01-03208		I-202012296559	101-5-130-42210	JUROR FEES-CRT		50.00
01-03208		I-202012296559	101-5-130-42210	JUROR MILEAGE-CRT		4.20
01-03212		I-202012296560	101-5-130-42210	JUROR FEES-CRT		50.00
01-03212		I-202012296560	101-5-130-42210	JUROR MILEAGE-CRT		5.04
01-03215		I-202012296561	101-5-130-42210	JUROR FEES-CRT		50.00
01-03215		I-202012296561	101-5-130-42210	JUROR MILEAGE-CRT		8.40
01-03221		I-202012296562	101-5-130-42210	JUROR FEES-CRT		50.00
01-03222		I-202012296563	101-5-130-42210	JUROR FEES-CRT		50.00
01-03222		I-202012296563	101-5-130-42210	JUROR MILEAGE-CRT		4.20
01-03224		I-202012296564	101-5-130-42210	JUROR FEES-CRT		50.00
01-03224		I-202012296564	101-5-130-42210	JUROR MILEAGE-CRT		0.84
01-03564	MURPHY LAW OFFICE PC	I-202012296572	101-5-130-42200	PROF SERVICES-CRT		857.60
01-04169		I-202012296558	101-5-130-42210	JUROR FEES-CRT		50.00
01-04169		I-202012296558	101-5-130-42210	JUROR MILEAGE-CRT		0.84
01-18801	DEAN SCHAEFER	I-202012306612	101-5-130-42200	PROF SERVICES-CRT		1,188.00
01-22259	THOMSON REUTERS - WEST	I-202012296586	101-5-130-42600	SUPPLIES-CRT		975.35

DEPARTMENT 130 COURT

TOTAL:

7,104.83

VENDOR SET: 01 Yankton County

ITEMS PRINTED: PAID, UNPAID

PACKET: 01973 LYNDSEY 01-05-2021 CLAIMS

FUND : 101 GENERAL FUND

DEPARTMENT: 141 AUDITOR

BANK: ALL

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-00029	SDACC	I-202012306596	101-5-141-42700	2021 DUES-AUDITOR		28.13
01-10467	KANSAS STATE BANK	I-202012296576	101-5-141-42400	LEASE AGREEMENT-AUDITOR		596.59
01-16017	QUALIFIED PRESORT SERVI	I-202012306610	101-5-141-42600	SUPPLIES-AUDITOR		138.58
01-18021	SDACO	I-202012306611	101-5-141-42700	2021 DUES-AUDITOR		698.56
01-22241	ONE OFFICE SOLUTION	I-202012316623	101-5-141-42600	SUPPLIES-AUDITOR		15.35
DEPARTMENT 141 AUDITOR					TOTAL:	1,477.21

VENDOR SET: 01 Yankton County

ITEMS PRINTED: PAID, UNPAID

PACKET: 01973 LYNDSEY 01-05-2021 CLAIMS

FUND : 101 GENERAL FUND

DEPARTMENT: 142 TREASURER

BANK: ALL

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-00029	SDACC	I-202012306596	101-5-142-42700	2021 DUES-TREASURER		28.13
01-10467	KANSAS STATE BANK	I-202012296576	101-5-142-42400	LEASE AGREEMENT-TREASURER		1,076.05
01-14001	YANKTON COUNTY OBSERVER	I-202012306607	101-5-142-42700	PUBLISHINGS-TREASURER		179.10
01-16017	QUALIFIED PRESORT SERVI	I-202012306610	101-5-142-42600	SUPPLIES-TREASURER		134.40
01-18021	SDACO	I-202012306611	101-5-142-42700	2021 DUES-TREASURER		698.55
DEPARTMENT 142 TREASURER					TOTAL:	2,116.23

VENDOR SET: 01 Yankton County

ITEMS PRINTED: PAID, UNPAID

PACKET: 01973 LYNDSEY 01-05-2021 CLAIMS

FUND : 101 GENERAL FUND

DEPARTMENT: 143 DATA PROCESSING

BANK: ALL

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-10467	KANSAS STATE BANK	I-202012296576	101-5-143-42400	LEASE AGREEMENT-DATA		1,242.92
01-12031	MILLER CONSULTING LLC	I-202012316621	101-5-143-42500	MAINTENANCE-DATA		300.00
DEPARTMENT 143 DATA PROCESSING TOTAL:						1,542.92

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VENDOR SET: 01 Yankton County ITEMS PRINTED: PAID, UNPAID
PACKET: 01973 LYNDSEY 01-05-2021 CLAIMS
FUND : 101 GENERAL FUND
DEPARTMENT: 151 STATES ATTORNEY BANK: ALL

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-04156	EXECUTIVE MGMT FINANCE	I-202012316618	101-5-151-42800	UTILITIES-STATES ATTY		43.88
01-10467	KANSAS STATE BANK	I-202012296576	101-5-151-42400	LEASE AGREEMENT-STATES ATTY		1,029.39
DEPARTMENT 151 STATES ATTORNEY					TOTAL:	1,073.27

VENDOR SET: 01 Yankton County

ITEMS PRINTED: PAID, UNPAID

PACKET: 01973 LYNDSEY 01-05-2021 CLAIMS

FUND : 101 GENERAL FUND

DEPARTMENT: 161 GOVERNMENT BUILDINGS

BANK: ALL

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-02008	NAPA AUTO PARTS OF YANK	I-202012296566	101-5-161-42500	MAINTENANCE-GOVT CTR		107.01
01-09287	JCL SOLUTIONS	I-202012306602	101-5-161-42600	SUPPLIES-GOVT CTR		34.24
01-09287	JCL SOLUTIONS	I-202012306603	101-5-161-42600	SUPPLIES-GOVT CTR		247.88
01-13001	NORTHWESTERN ENERGY	I-202012306605	101-5-161-42800	UTILITIES-GOVT CTR		2,253.08
01-14005	OLSON'S PEST TECHNICIAN	I-202012306608	101-5-161-42500	MAINTENANCE-GOVT CTR		82.00

DEPARTMENT 161 GOVERNMENT BUILDINGS TOTAL: 2,724.21

VENDOR SET: 01 Yankton County

ITEMS PRINTED: PAID, UNPAID

PACKET: 01973 LYNDSEY 01-05-2021 CLAIMS

FUND : 101 GENERAL FUND

DEPARTMENT: 162 DIRECTOR OF EQUALIZATION

BANK: ALL

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-00029	SDACC	I-202012306596	101-5-162-42700	2021 DUES-DOE		28.13
01-10467	KANSAS STATE BANK	I-202012296576	101-5-162-42400	LEASE AGREEMENT-DOE		1,117.18
01-12031	MILLER CONSULTING LLC	I-202012316621	101-5-162-42500	MAITNENANCE-DOE		56.25
01-12109	AUMENTUM TECHNOLOGIES,	I-202012296577	101-5-162-42500	MAINTENANCE-DOE		3,340.87
01-12109	AUMENTUM TECHNOLOGIES,	I-202012296578	101-5-162-42500	MAINTENANCE-DOE		11,873.69
01-16017	QUALIFIED PRESORT SERVI	I-202012306610	101-5-162-42600	SUPPLIES-DOE		34.00
01-22241	ONE OFFICE SOLUTION	I-202012316623	101-5-162-42600	SUPPLIES-DOE		90.90

DEPARTMENT 162 DIRECTOR OF EQUALIZATI TOTAL: 16,541.02

VENDOR SET: 01 Yankton County

ITEMS PRINTED: PAID, UNPAID

PACKET: 01973 LYNDSEY 01-05-2021 CLAIMS

FUND : 101 GENERAL FUND

DEPARTMENT: 163 REGISTER OF DEEDS

BANK: ALL

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-00029	SDACC	I-202012306596	101-5-163-42700	2021 DUES-ROD		28.13
01-04156	EXECUTIVE MGMT FINANCE	I-202012316618	101-5-163-42800	UTILITIES-ROD		43.87
01-10467	KANSAS STATE BANK	I-202012296576	101-5-163-42400	LEASE AGREEMENT-ROD		737.56
01-12031	MILLER CONSULTING LLC	I-202012316621	101-5-163-42500	MAINTENANCE-ROD		93.75
01-16017	QUALIFIED PRESORT SERVI	I-202012306610	101-5-163-42600	SUPPLIES-ROD		61.05
01-18021	SDACO	I-202012306611	101-5-163-42700	2021 DUES-ROD		698.55

DEPARTMENT 163	REGISTER OF DEEDS	TOTAL:	1,662.91
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VENDOR SET: 01 Yankton County ITEMS PRINTED: PAID, UNPAID
PACKET: 01973 LYNDSEY 01-05-2021 CLAIMS
FUND : 101 GENERAL FUND
DEPARTMENT: 165 VETERANS SERVICE OFFICER BANK: ALL

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-00029	SDACC	I-202012306596	101-5-165-42700	2021 DUES-VA		28.13
01-10467	KANSAS STATE BANK	I-202012296576	101-5-165-42400	LEASE AGREEMENT-VA		149.15
DEPARTMENT 165 VETERANS SERVICE OFFIC TOTAL:						177.28

VENDOR SET: 01 Yankton County

ITEMS PRINTED: PAID, UNPAID

PACKET: 01973 LYNDSEY 01-05-2021 CLAIMS

FUND : 101 GENERAL FUND

DEPARTMENT: 169 SAFETY CENTER BUILDING

BANK: ALL

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-02084	COLE PAPERS INC.	I-202012306598	101-5-169-42600	SUPPLIES-SAFETY CTR		239.50
01-02084	COLE PAPERS INC.	I-202012306599	101-5-169-42600	SUPPLIES-SAFETY CTR		48.89
01-09063	JUSTICE FIRE & SAFETY	I-202012296574	101-5-169-42500	MAINTENANCE-SAFETY CTR		200.00
01-12110	MIDWEST STRIPING	I-202012296579	101-5-169-42500	MAINTENANCE-SAFETY CTR		325.00
01-12167	MENARDS	I-202012316622	101-5-169-42600	SUPPLIES-SAFETY CTR		119.84
01-12371	MIDAMERICAN ENERGY	I-202012296580	101-5-169-42800	UTILITIES-SAFETY CTR		1,957.06
DEPARTMENT 169 SAFETY CENTER BUILDING TOTAL:						2,890.29

VENDOR SET: 01 Yankton County

ITEMS PRINTED: PAID, UNPAID

PACKET: 01973 LYNDSEY 01-05-2021 CLAIMS

FUND : 101 GENERAL FUND

DEPARTMENT: 211 SHERIFF

BANK: ALL

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-00029	SDACC	I-202012306596	101-5-211-42700	2021 DUES-SHERIFF		28.13
01-03537	BUSINESS BULLETIN, LLC	I-202012296571	101-5-211-42200	PROF SERVICES-SHERIFF		300.00
01-05295	FEDEX	I-202012296573	101-5-211-42900	OTHER-SHERIFF		14.53
01-16017	QUALIFIED PRESORT SERVI	I-202012306610	101-5-211-42520	MAINTENANCE CONTRACTS-SHERIFF		123.66
DEPARTMENT 211 SHERIFF					TOTAL:	466.32

VENDOR SET: 01 Yankton County

ITEMS PRINTED: PAID, UNPAID

PACKET: 01973 LYNDSEY 01-05-2021 CLAIMS

FUND : 101 GENERAL FUND

DEPARTMENT: 212 COUNTY JAIL

BANK: ALL

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-03195	SUMMIT FOOD SERVICE, LL	I-202012296570	101-5-212-42210	FOOD SERVICES-JAIL		3,016.70
01-09287	JCL SOLUTIONS	I-202012306600	101-5-212-42600	SUPPLIES-JAIL		660.22
01-09287	JCL SOLUTIONS	I-202012306601	101-5-212-42600	SUPPLIES-JAIL		101.92
01-14005	OLSON'S PEST TECHNICIAN	I-202012306609	101-5-212-42500	MAINTENANCE-JAIL		110.00

DEPARTMENT 212	COUNTY JAIL	TOTAL:	3,888.84
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VENDOR SET: 01 Yankton County

PACKET: 01973 LYNDSEY 01-05-2021 CLAIMS

FUND : 101 GENERAL FUND

DEPARTMENT: 213 CORONER

BANK: ALL

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-00029	SDACC	I-202012306596	101-5-213-42700	2021 DUES-CORONER		28.13
DEPARTMENT 213 CORONER					TOTAL:	28.13

12/31/2020 2:31 PM DIRECT PAYABLES DEPARTMENT PAYMENT REGISTER
VENDOR SET: 01 Yankton County
PACKET: 01973 LYNDSEY 01-05-2021 CLAIMS
FUND : 101 GENERAL FUND
DEPARTMENT: 411 CARE OF POOR

PAGE: 16
ITEMS PRINTED: PAID, UNPAID

BANK: ALL

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-00029	SDACC	I-202012306596	101-5-411-42700	2021 DUES-POOR RELIEF		28.13
01-10467	KANSAS STATE BANK	I-202012296576	101-5-411-42400	LEASE AGREEMENT-POOR RELIEF		393.04
01-16017	QUALIFIED PRESORT SERVI	I-202012306610	101-5-411-42600	SUPPLIES-POOR RELIEF		181.26
01-22429	WINTZ & RAY FUNERAL HOM	I-202012296587	101-5-411-42200	PROF SERVICES-POOR RELIEF		1,250.00
DEPARTMENT 411 CARE OF POOR					TOTAL:	1,852.43

VENDOR SET: 01 Yankton County

PACKET: 01973 LYNDSEY 01-05-2021 CLAIMS

FUND : 101 GENERAL FUND

DEPARTMENT: 421 PUBLIC HEALTH NURSE

BANK: ALL

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-00029	SDACC	I-202012306596	101-5-421-42700	2021 DUES-NURSE		28.13
01-16017	QUALIFIED PRESORT SERVI	I-202012306610	101-5-421-42600	SUPPLIES-NURSE		70.04
DEPARTMENT 421 PUBLIC HEALTH NURSE TOTAL:						98.17

VENDOR SET: 01 Yankton County

ITEMS PRINTED: PAID, UNPAID

PACKET: 01973 LYNDSEY 01-05-2021 CLAIMS

FUND : 101 GENERAL FUND

DEPARTMENT: 424 AMBULANCE

BANK: ALL

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-00029	SDACC	I-202012306596	101-5-424-42700	2021 DUES-AMBULANCE		28.13
01-02125	CREDIT COLLECTION SERVI	I-202012296567	101-5-424-42200	PROF SERVICES-AMBULANCE		509.61
01-10467	KANSAS STATE BANK	I-202012296576	101-5-424-42400	LEASE AGREEMENT-AMBULANCE		653.08
01-13001	NORTHWESTERN ENERGY	I-202012296582	101-5-424-42800	UTILITIES-AMBULANCE		1,037.88
01-21042	VERIZON	I-202012306614	101-5-424-42800	UTILITIES-AMBULANCE		304.79
DEPARTMENT 424 AMBULANCE					TOTAL:	2,533.49

VENDOR SET: 01 Yankton County

ITEMS PRINTED: PAID, UNPAID

PACKET: 01973 LYNDSEY 01-05-2021 CLAIMS

FUND : 101 GENERAL FUND

DEPARTMENT: 445 MENTAL ILLNESS BOARD

BANK: ALL

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-01765	DARCY LOCKWOOD	I-202012316616	101-5-445-00000	HEARINGS-MI		27.00
01-02660	KERRI COOK-HUBER	I-202012316617	101-5-445-00000	HEARINGS-MI		50.00
01-10118	MARK KATTERHAGEN	I-202012316619	101-5-445-00000	HEARINGS-MI		27.00
01-11033	LINCOLN COUNTY TREASURE	I-202012306604	101-5-445-00000	HEARINGS-MI		1,942.20
01-11092	LUCILLE M. LEWNO	I-202012316620	101-5-445-00000	HEARINGS-MI		290.00

DEPARTMENT 445 MENTAL ILLNESS BOARD TOTAL: 2,336.20

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VENDOR SET: 01 Yankton County ITEMS PRINTED: PAID, UNPAID
PACKET: 01973 LYNDSEY 01-05-2021 CLAIMS
FUND : 101 GENERAL FUND
DEPARTMENT: 611 COUNTY EXTENSION BANK: ALL

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-00029	SDACC	I-202012306596	101-5-611-42700	2021 DUES-EXTENSION		28.13
01-10467	KANSAS STATE BANK	I-202012296576	101-5-611-42400	LEASE AGREEMENT-EXTENSION		487.14
DEPARTMENT 611 COUNTY EXTENSION TOTAL:						515.27

VENDOR SET: 01 Yankton County

PACKET: 01973 LYNDSEY 01-05-2021 CLAIMS

FUND : 101 GENERAL FUND

DEPARTMENT: 615 WEED

BANK: ALL

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-00029	SDACC	I-202012306596	101-5-615-42700	2021 DUES-WEED		28.13
DEPARTMENT 615 WEED						TOTAL: 28.13

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-12581	MISSOURI SEDIMENTATION	I-202012296581	101-5-624-00000	2021 ANNUAL MEMBERSHIP		1,000.00
DEPARTMENT 624 DRAINAGE COMM. TOTAL:						1,000.00

VENDOR SET: 01 Yankton County

ITEMS PRINTED: PAID, UNPAID

PACKET: 01973 LYNDSEY 01-05-2021 CLAIMS

FUND : 101 GENERAL FUND

DEPARTMENT: 711 PLANNING & ZONING

BANK: ALL

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT		
01-00029	SDACC	I-202012306596	101-5-711-42700	2021 DUES-ZONING		28.13		
01-01026	BOLLER PRINTING CO.	I-202012306597	101-5-711-42600	SUPPLIES-ZONING		84.00		
01-03190	SCHNEIDER GEOSPATIAL, L	I-202012296569	101-5-711-42500	MAINTENANCE-ZONING		6,900.00		
01-03537	BUSINESS BULLETIN, LLC	I-202012296571	101-5-711-42200	PROF SERVICES-ZONING		300.00		
01-10467	KANSAS STATE BANK	I-202012296576	101-5-711-42400	LEASE AGREEMENT-ZONING		173.82		
01-12031	MILLER CONSULTING LLC	I-202012316621	101-5-711-42500	MAINTENANCE-ZONING		80.00		
01-15014	PLANNING & DEVELOPMENT	I-202012296583	101-5-711-42200	2021 MEMBERSHIP DUES-ZONING		28,245.00		
01-16017	QUALIFIED PRESORT SERVI	I-202012306610	101-5-711-42600	SUPPLIES-ZONING		24.15		
01-21042	VERIZON	I-202012306614	101-5-711-42800	UTILITIES-ZONING		42.00		
01-22241	ONE OFFICE SOLUTION	I-202012316623	101-5-711-42500	MAINTENANCE-ZONING		127.94		
				DEPARTMENT 711	PLANNING & ZONING	TOTAL:	36,005.04	
				FUND	101	GENERAL FUND	TOTAL:	91,883.53

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-09063	JUSTICE FIRE & SAFETY	I-202012296575	207-5-225-42500	MAINTENANCE-E911		200.00
DEPARTMENT 225 LOCAL EMERGENCY PLANNI TOTAL:						200.00
FUND 207 EMERGENCY 911 FUND TOTAL:						200.00

VENDOR SET: 01 Yankton County

ITEMS PRINTED: PAID, UNPAID

PACKET: 01973 LYNDSEY 01-05-2021 CLAIMS

FUND : 226 EMERGENCY MANAGEMENT

DEPARTMENT: 222 EMERGENCY MANAGEMENT

BANK: ALL

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-00029	SDACC	I-202012306596	226-5-222-42700	2021 DUES-EDS		28.13
01-10467	KANSAS STATE BANK	I-202012296576	226-5-222-42400	LEASE AGREEMENT-EDS		581.57
01-16017	QUALIFIED PRESORT SERVI	I-202012306610	226-5-222-42600	SUPPLIES-EDS		9.18
01-21042	VERIZON	I-202012306614	226-5-222-42800	UTILITIES-EDS		734.67
DEPARTMENT 222 EMERGENCY MANAGEMENT TOTAL:						1,353.55
FUND 226 EMERGENCY MANAGEMENT TOTAL:						1,353.55

VENDOR	NAME	ITEM #	G/L ACCOUNT	DESCRIPTION	CHECK#	AMOUNT
01-00092	AUTOMATIC BUILDING CONT I-	202012296565	233-5-920-00000	MAINTENANCE-GOVT BUILDINGS		2,277.00
DEPARTMENT 920 GOVERNMENT BUILDINGS TOTAL:						2,277.00
FUND 233 COUNTY BUILDING TOTAL:						2,277.00
REPORT GRA TOTAL:						109,852.64

** G/L ACCOUNT TOTALS **

YEAR	ACCOUNT	NAME	AMOUNT	=====LINE ITEM=====			=====GROUP BUDGET=====		
				ANNUAL BUDGET	BUDGET AVAILABLE	OVER BUDG	ANNUAL BUDGET	BUDGET AVAILABLE	OVER BUDG
2020	101-5-111-42200	PROFESSIONAL SERVICE & FEE	920.00	40,000	2,696.06				
	101-5-111-42600	SUPPLIES	31.95	2,000	1,033.90-	Y			
	101-5-111-42700	TRAVEL	4,264.74	11,000	1,327.83				
	101-5-120-42400	RENTALS	604.65	5,215	598.96-	Y			
	101-5-130-42200	PROFESSIONAL SERVICE & FEE	5,705.96	400,000	81,923.93				
	101-5-130-42210	JUROR-WITNESS-HEARINGS-LAB	423.52	50,000	9,889.95				
	101-5-130-42600	SUPPLIES	975.35	5,000	6,174.12-	Y			
	101-5-141-42400	RENTALS	596.59	4,200	687.56-	Y			
	101-5-141-42600	SUPPLIES	153.93	10,000	3,100.83				
	101-5-141-42700	TRAVEL	726.69	2,400	488.99				
	101-5-142-42400	RENTALS	1,076.05	2,500	728.15-	Y			
	101-5-142-42600	SUPPLIES	134.40	12,000	51.95				
	101-5-142-42700	TRAVEL	905.78	1,800	170.82-	Y			
	101-5-143-42400	RENTAL	1,242.92	15,000	11,061.52				
	101-5-143-42500	REPAIRS & MAINTENANCE	300.00	65,000	13,942.90-	Y			
	101-5-151-42400	RENTALS	1,029.39	7,000	2,290.26-	Y			
	101-5-151-42800	UTILITIES	43.88	2,750	2,411.37				
	101-5-161-42500	REPAIRS & MAINTENANCE	189.01	25,000	6,198.09-	Y			
	101-5-161-42600	SUPPLIES	282.12	9,000	5,211.42-	Y			
	101-5-161-42800	UTILITIES	2,253.08	70,000	5,221.65				
	101-5-162-42400	RENTALS	1,117.18	3,000	351.54-	Y			
	101-5-162-42500	REPAIRS & MAINTENANCE	15,270.81	46,300	15,002.62-	Y			
	101-5-162-42600	SUPPLIES	124.90	10,000	650.02				
	101-5-162-42700	TRAVEL	28.13	13,600	9,113.86				
	101-5-163-42400	RENTALS	737.56	8,000	315.32				
	101-5-163-42500	REPAIRS & MAINTENANCE	93.75	1,000	164.82				
	101-5-163-42600	SUPPLIES	61.05	3,300	324.14-	Y			
	101-5-163-42700	TRAVEL	726.68	2,600	1,108.29				
	101-5-163-42800	UTILITIES	43.87	2,700	259.56				
	101-5-165-42400	RENTALS	149.15	625	177.55				
	101-5-165-42700	TRAVEL	28.13	1,600	1,520.38				
	101-5-169-42500	REPAIRS & MAINTENANCE	525.00	40,000	4,601.53-	Y			
	101-5-169-42600	SUPPLIES	408.23	16,000	1,558.13-	Y			
	101-5-169-42800	UTILITIES	1,957.06	130,000	2,716.37				
	101-5-211-42200	PROFESSIONAL SERVICE & FEE	300.00	2,500	143.86				
	101-5-211-42520	MAINTENANCE CONTRACTS	123.66	10,000	3,842.16				
	101-5-211-42700	TRAVEL	28.13	11,250	7,116.33				
	101-5-211-42900	OTHER	14.53	1,000	945.77				
	101-5-212-42210	FOOD SERVICE	3,016.70	225,000	48,723.70				
	101-5-212-42500	REPAIRS & MAINTENANCE	110.00	7,000	3,581.13				
	101-5-212-42600	SUPPLIES	762.14	40,000	2,561.89				
	101-5-213-42700	TRAVEL	28.13	1,500	1,007.28				
	101-5-411-42200	PROFESSIONAL SERVICE & FEE	1,250.00	70,000	31,493.62				
	101-5-411-42400	RENTALS	393.04	1,500	320.88				

** G/L ACCOUNT TOTALS **

YEAR	ACCOUNT	NAME	AMOUNT	=====LINE ITEM=====			=====GROUP BUDGET=====		
				ANNUAL BUDGET	BUDGET AVAILABLE	OVER BUDG	ANNUAL BUDGET	BUDGET AVAILABLE	OVER BUDG
	101-5-411-42600	SUPPLIES	181.26	3,000	830.31-	Y			
	101-5-411-42700	TRAVEL	28.13	400	343.74				
	101-5-421-42600	SUPPLIES	70.04	1,350	224.18-	Y			
	101-5-421-42700	TRAVEL	28.13	50	29.62-	Y			
	101-5-424-42200	PROFESSIONAL SERVICE & FEE	509.61	28,560	3,727.08-	Y			
	101-5-424-42400	RENTALS	653.08	8,160	2,479.11				
	101-5-424-42700	TRAVEL	28.13	7,800	3,396.45				
	101-5-424-42800	UTILITIES	1,342.67	28,560	1,882.37				
	101-5-445-00000	MISC	2,336.20	88,000	12,186.66-	Y			
	101-5-611-42400	RENTALS	487.14	5,000	693.66				
	101-5-611-42700	TRAVEL	28.13	3,500	2,681.30				
	101-5-615-42700	TRAVEL	28.13	1,600	256.39				
	101-5-624-00000	MISC	1,000.00	1,000	1,000.00-	Y			
	101-5-711-42200	PROFESSIONAL SERVICE & FEE	28,545.00	50,000	22,323.40-	Y			
	101-5-711-42400	RENTALS	173.82	8,900	6,839.80				
	101-5-711-42500	REPAIRS & MAINTENANCE	7,107.94	2,200	7,348.07-	Y			
	101-5-711-42600	SUPPLIES	108.15	4,000	93.03				
	101-5-711-42700	TRAVEL	28.13	3,000	2,362.89				
	101-5-711-42800	UTILITIES	42.00	1,000	315.28-	Y			
	201-5-311-42200	PROFESSIONAL SERVICE & FEE	3,840.54	35,000	13,437.39-	Y			
	201-5-311-42400	RENTALS	537.60	25,000	15,959.45				
	201-5-311-42500	REPAIRS & MAINTENANCE	77.80	130,000	23,687.66				
	201-5-311-42600	SUPPLIES	7,244.48	377,000	202,882.96-	Y			
	201-5-311-42700	TRAVEL	100.58	2,500	1,422.95				
	201-5-311-42800	UTILITIES	125.30	30,000	1,028.00				
	201-5-311-42900	ANNUAL PROJECT(S)	207.57	1,330,000	289,045.68-	Y			
	201-5-311-42903	BRIDGES	2,004.69	360,000	592,974.52-	Y			
	207-5-225-42500	REPAIRS & MAINTENANCE	200.00	415,000	14,400.00				
	226-5-222-42400	RENTALS	581.57	9,972	4,797.63				
	226-5-222-42600	SUPPLIES	9.18	32,000	6,523.14				
	226-5-222-42700	TRAVEL	28.13	6,314	5,817.71				
	226-5-222-42800	UTILITIES	734.67	17,700	3,675.23				
	233-5-920-00000	MISC	2,277.00	20,000	69,133.01-	Y			
	** 2020 YEAR TOTALS		109,852.64						

** DEPARTMENT TOTALS **

ACCT	NAME	AMOUNT
101-111	COMMISSIONERS	5,216.69
101-120	ELECTIONS	604.65
101-130	COURT	7,104.83
101-141	AUDITOR	1,477.21
101-142	TREASURER	2,116.23
101-143	DATA PROCESSING	1,542.92
101-151	STATES ATTORNEY	1,073.27
101-161	GOVERNMENT BUILDINGS	2,724.21
101-162	DIRECTOR OF EQUALIZATION	16,541.02
101-163	REGISTER OF DEEDS	1,662.91
101-165	VETERANS SERVICE OFFICER	177.28
101-169	SAFETY CENTER BUILDING	2,890.29
101-211	SHERIFF	466.32
101-212	COUNTY JAIL	3,888.84
101-213	CORONER	28.13
101-411	CARE OF POOR	1,852.43
101-421	PUBLIC HEALTH NURSE	98.17
101-424	AMBULANCE	2,533.49
101-445	MENTAL ILLNESS BOARD	2,336.20
101-611	COUNTY EXTENSION	515.27
101-615	WEED	28.13
101-624	DRAINAGE COMM.	1,000.00
101-711	PLANNING & ZONING	36,005.04

101 TOTAL	GENERAL FUND	91,883.53
201-311	HIGHWAY CONSTRUCTION & MA	14,138.56

201 TOTAL	ROAD & BRIDGE	14,138.56
207-225	LOCAL EMERGENCY PLANNING	200.00

207 TOTAL	EMERGENCY 911 FUND	200.00
226-222	EMERGENCY MANAGEMENT	1,353.55

226 TOTAL	EMERGENCY MANAGEMENT	1,353.55
233-920	GOVERNMENT BUILDINGS	2,277.00

233 TOTAL	COUNTY BUILDING	2,277.00

** TOTAL **		109,852.64

NO ERRORS

** END OF REPORT **

DEPT: ALL

PAYROLL NO#: 01

PAY PERIOD BEGINNING: 12/31/2020

PAY PERIOD ENDING: 12/31/2020

*** G R A N D T O T A L S ***

-----EARNINGS-----			----BENF/REIMB----		-----DEDUCTIONS-----			-----TAXES-----				
DESC	HRS	AMOUNT	DESC	AMOUNT	CD	ABEV	EMPLOYEE	EMPLOYER	DESC	TAXABLE	EMPLOYEE	EMPLOYER
SAL	0.00	294,383.13	VEH	72.00	010	PENSU	3931.88	509.78	FED W/H	408,328.92	35,911.75	
HOUR	6,430.00	108,012.21			011	ROTH	1175.00		FICA	439,007.12	27,218.47	27218.47
OVERT	346.00	10,177.25			020	AFLAC	1378.50		MEDI	439,007.12	6,365.62	6365.62
VAC	637.05	4,279.76			030	COL	525.52					
SICK	415.25	5,096.78			045	GARN	293.24					
MEALS	0.00	28.00			050	OPTLG	486.66					
CELL	0.00	1,300.00			051	UWAY	20.00					
LONG	0.00	942.42			062	GARN	50.00					
VACPO	0.00	3,887.67			080	LEGAL	25.90					
HOL	1,914.50	18,685.19			086	CHLDS	578.00					
FNRL	69.00	674.50			100	NRS	69.44					
CVSK	492.00	3,221.28			11	SDRS6	16792.65	16792.65				
SPO	0.00	2,153.25			12	SDRS8	9884.23	9884.23				
					410	FLEXA	4187.11					
					420	LIFE	341.43					
					430	FLEXC	1154.60					
					440	VSP	210.66					
					450	DELTA	1253.00					
					460	FLEXB	2175.96					
					461	BCEMP		33964.35				
					463	HSA-1		11090.40				
					464	HSA	1980.00					
					465	HSA-2		18269.16				
					466	COHSA		1057.68				
					467	COPAY	2458.33					
					468	COHSA		40.68				
					P7	SPOUS	233.90					
TOTALS:	10,303.80	452,841.44		72.00			49206.01	91608.93			69,495.84	33584.09

-----DEPARTMENT RECAP-----									
DEPT NO#	GROSS	REGULAR	OVERTIME	LEAVE	OTHER	BENEFITS	DEDUCTIONS	TAXES	NET
101-111	5,606.74	5,606.74	0.00	0.00	0.00	0.00	0.00	520.71	5,086.03
101-141	15,256.84	15,056.84	0.00	0.00	200.00	0.00	1,660.84	2,427.15	11,168.85
101-142	17,590.33	17,590.33	0.00	0.00	0.00	0.00	1,464.97	2,771.20	13,354.16
101-151	29,247.73	29,247.73	0.00	0.00	0.00	0.00	2,427.77	4,596.67	22,223.29
101-161	11,977.33	8,808.67	0.00	2,944.66	200.00	24.00	1,269.09	1,678.31	9,005.93
101-162	28,581.38	28,277.22	0.00	0.00	304.16	0.00	3,590.20	4,187.76	20,803.42
101-163	11,953.96	11,803.96	0.00	0.00	150.00	0.00	767.41	1,956.18	9,230.37
101-165	3,521.98	2,721.53	0.00	800.45	0.00	0.00	297.32	595.35	2,629.31

DEPT: ALL

PAYROLL NO#: 01

PAY PERIOD BEGINNING: 12/31/2020

PAY PERIOD ENDING: 12/31/2020

-----DEPARTMENT RECAP-----

DEPT NO#	GROSS	REGULAR	OVERTIME	LEAVE	OTHER	BENEFITS	DEDUCTIONS	TAXES	NET
101-211	65,909.72	65,653.68	78.04	0.00	178.00	0.00	9,775.15	9,957.91	46,176.66
101-212	79,308.48	79,158.48	0.00	0.00	150.00	0.00	10,389.73	11,289.64	57,629.11
101-213	1,500.00	1,450.00	0.00	0.00	50.00	0.00	0.00	195.58	1,304.42
101-421	10,117.64	3,673.46	0.00	0.00	6,444.18	0.00	355.75	1,645.11	8,116.78
101-424	63,411.76	49,875.13	7,048.76	6,312.87	175.00	0.00	3,223.62	10,470.09	49,718.05
101-427	1,020.60	1,020.60	0.00	0.00	0.00	0.00	0.00	148.47	872.13
101-611	7,500.02	7,090.02	0.00	0.00	410.00	0.00	545.04	1,175.43	5,779.55
101-711	10,273.23	10,273.23	0.00	0.00	0.00	0.00	2,007.47	1,426.66	6,839.10
201-311	80,594.90	55,895.95	2,995.34	21,605.61	50.00	48.00	10,340.63	12,969.56	57,236.71
226-222	8,505.11	8,156.08	55.11	293.92	0.00	0.00	1,091.02	1,332.93	6,081.16
248-212	1,035.69	1,035.69	0.00	0.00	0.00	0.00	0.00	151.13	884.56
TOTALS	452,913.44	402,395.34	10,177.25	31,957.51	8,311.34	72.00	49,206.01	69,495.84	334,139.59

REGULAR INPUT: 138

MANUAL INPUT: 1

CHECK STUB COUNT: 0

DIRECT DEPOSIT STUB COUNT: 139

2021

January

S	M	T	W	Th	F	S
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

February

S	M	T	W	Th	F	S
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28						

March

S	M	T	W	Th	F	S
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			

April

S	M	T	W	Th	F	S
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	

May

S	M	T	W	Th	F	S
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					

June

S	M	T	W	Th	F	S
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30			

July

S	M	T	W	Th	F	S
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	31

August

S	M	T	W	Th	F	S
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

September

S	M	T	W	Th	F	S
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30		

October

S	M	T	W	Th	F	S
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

November

S	M	T	W	Th	F	S
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30				

December

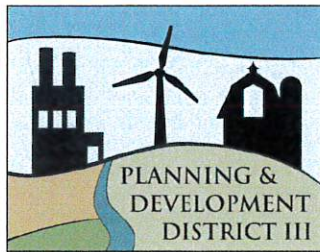
S	M	T	W	Th	F	S
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	

Holiday	Commission Meeting	Planning/Commission Meeting	Pay Day
	Bills Due in Auditor's Office	Agenda Items Due in Auditor's	
Jan 01: New Year's Day	Apr 02: Good Friday	June 20: Father's Day	Oct 31: Halloween
Jan 18: Martin Luther King Day	Apr 04: Easter Sunday	July 04: Independence Day	Nov 11: Veterans Day
Feb 14: Valentine's Day	May 09: Mother's Day	Sep 06: Labor Day	Nov 25: Thanksgiving Day
Feb 15: Presidents' Day	May 31: Memorial Day	Oct 12: Columbus Day	Dec 25: Christmas

Action 2006C: A motion was made by Healy and seconded by Kettering to adopt the following board committee assignments for 2020. Healy, Kettering, Klimisch and Loest voted aye; Swensen voting nay; motion carried 4-1.

The 2020 assignments include the following:

Ambulance Liaison: Cheri Loest
Chamber Governmental Affairs: Don Kettering
Chamber of Commerce Board of Directors: Joe Healy
City Master Plan Committee: Dan Klimisch
Community Health Nurse Liaison: Gary Swensen
County Planning Commission/Yankton City-County Planning Committee: Joe Healy & Dan Klimisch
District III Board: Cheri Loest
Director of Equalization Liaison: Cheri Loest
Drainage Board: Cheri Loest
E911 Committee: Gary Swensen & Dan Klimisch
Emergency Contact Commissioner: Cheri Loest
Emergency Contact Staff Member: Patty Hojem
Emergency Management Liaison/Homeland Security/Local Emergency Planning: Dan Klimisch
Extension Board/4-H Liaison: Gary Swensen
Federal Prison Camp Community Relations Board: Don Kettering
Historical Society Board: Dan Klimisch
Human Services Center Board: Don Kettering
Information Technology: Dan Klimisch
Joint Powers Committee: Joe Healy
Library Board: Dan Klimisch
Mental Health Board: Don Kettering
Napa Railroad Authority Board: Gary Swensen
Physical Plant Supervisor/Grounds Maintenance: Joe Healy
Road Committee/Highway Liaison: Cheri Loest & Don Kettering
Safety Center Committee: Includes two county commissioners (Gary Swensen & Joe Healy), county auditor (Patty Hojem), county sheriff (Jim Vlahakis), two city commissioners, city police chief, and city manager.
Senior Center Board: Dan Klimisch
Veteran's Liaison: Gary Swensen
Weed Board: Cheri Loest
Yankton Area Progressive Growth: Joe Healy & Don Kettering
Yankton County Conservation District: Cheri Loest
Yankton County Rail Authority: Gary Swensen & Joe Healy
Contact Center- Don Kettering



Planning & Development District III
 1808 Summit St PO Box 687
 Yankton, SD 57078
 (605)665-4408 or 800-952-3562
 Fax: (605)665-0303
districtiii@districtiii.org
www.districtiii.org

Thank you for your continued membership in District III. Please read the following instructions and complete the form below in its entirety.

The Economic Development Administration (EDA), a federal funding source, requires the District III governing board be comprised of a certain percentage of public and private sector representatives. The information requested in the form below will help us to identify whether District III will list your appointed representative as a public or private sector delegate.

Please select at least one category from the following list as required by federal guidelines (you can select up to three if you wish) **and enter it in the "Affiliation" box below.** You can select a category that your representative is either currently affiliated with OR has been affiliated with in the past. *For example: a 70 year old, retired high school principal that has returned to manage the family farm can either represent education, agriculture, or elderly.*

Categories:

Labor
 Business
 Utilities
 Unemployment
 Industry
 Local Government
 Education
 Underemployment

Community Organization
 Agriculture
 Public Health
 Professional
 Elderly
 Transportation
 Tourism
 Finance

CURRENT INFORMATION FOR DISTRICT III REPRESENTATIVE	UPDATED INFORMATION
Organization Name: Yankton Co	Organization Name:
Representative Name: Cheri Loest	Representative Name:
Organization Title: Commissioner	Organization Title:
Date Appointed: 010819	Date Appointed:
Affiliation: Local Govt	Affiliation:
Place of Employment:	Place of Employment:
Job Title:	Job Title:

If incomplete, please update the table below. This information is now required for the submission of state and federal funding applications. It will be added to our membership database for future reference.

CURRENT ORGANIZATION INFORMATION	UPDATED INFORMATION
EIN Number: 466000569	EIN Number:
DUNS Number: 145881061	DUNS Number:

If you prefer, you can email this information to districtiii@districtiii.org. Thank you for your time!

Planning & Development District III Executive Board:

John Claggett Davison County Chairman	Donita Loudner Buffalo County Vice-Chairman	Larry McManus Tri-County Landfill Secretary	Mike Sprenger Presho Treasurer	Don Hosek Wagner At-large	Delayne Persson Aurora County At-large	Brad Carson Brule County At-large	Myron Johnson Gregory County At-large
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PRICING PROPOSAL

FOR

YANKTON COUNTY, SD

PREPARED BY



Inmate Population Price per Meal

Less than 30	TBN
30 to 39	\$4.729
40 to 49	\$3.704
50 to 59	\$3.089
60 to 69	\$2.679
70 to 79	\$2.400
80+	\$2.192

SACK PRICE \$2.250

SNACK \$1.050





Price Proposal

Pricing Summary

Trinity is providing Yankton County with two pricing options.

Option 1

Includes offering our Trinity Take-Out Program, detailed in this proposal. The revenue generated from this program will lower your price per meal.

Option 2

Our proposed price if Yankton County would not select to offer our Trinity Take-Out Program.

YANKTON COUNTY PRICING SCALE					
FROM		TO	OPTION 1		OPTION 2
30	-	39	\$4.52		\$4.59
40	-	49	\$3.55		\$3.61
50	-	59	\$2.97		\$3.03
60	-	69	\$2.58		\$2.64
70	-	79	\$2.30		\$2.37
80	-	89	\$2.10		\$2.16
90	-	99	\$1.93		\$2.00
100	-	109	\$1.81		\$1.87
110	-	119	\$1.71		\$1.77
120	-	129	\$1.63		\$1.69
130	-	139	\$1.56		\$1.62

Sack Lunch	\$1.00
Medical Snack	\$0.75
Kosher Meal	\$4.50

Equipment Fund

Trinity will establish a \$35,000 Equipment Fund at NO ADDITIONAL COST. The Equipment Fund can be used for example, to purchase new equipment to improve the workflow and increase efficiency. The equipment fund will be buy-back protected.

Rates

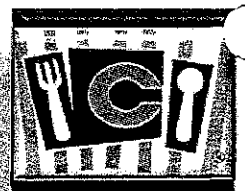
Meal Plan 3000 Minimum Calorie Menu

Included in your rates:

	<u># of Inmates</u>	<u>Cold Breakfast Hot Lunch and Dinner *Rate per Meal</u>	<u>Hot Breakfast Lunch and Dinner *Rate per Meal</u>
• All food costs, kitchen management and labor, employee benefits and uniforms	40-49	\$3.442	\$4.355
• Dietician approved menus	50-59	\$2.972	\$3.722
	60-69	\$2.633	\$3.080
• Regional Manager regular visits and daily support	70-79	\$2.405	\$2.793
	80-89	\$2.233	\$2.574
	90-99	\$2.097	\$2.398
• Centralized accounting to ensure accurate billing	100-109	\$1.986	\$2.264
	110-119	\$1.887	\$2.150
• Office equipment and supplies	120-129	\$1.818	\$2.054
	130-139	\$1.642	\$1.994
	140-149	\$1.596	\$1.805
	150-159	\$1.557	\$1.752

If the inmate count drops below 40 inmates per meal, Consolidated will invoice the Client for a minimum of 40 meals at the 40-49 meal rate.

*Rates quoted will remain valid for the first 12 months of the contract assuming the contract is executed no later than 80 days after date of proposal.





FILED
IN THE OFFICE OF
YANKTON COUNTY AUDITOR

JAN 04 2021

12/31/2020

Yankton County Commission
321 West 3 St Suite 100
Yankton, SD 57078

Dear Commissioners,

I am writing this letter to let you know that I will be resigning from my position as Director of Equalization for Yankton County. My resignation is due to personal reasons. My last day of work will be January 29, 2020 so I ask that you please accept this letter as my official notice of resignation. I requested the position be opened immediately to avoid a long vacancy and ensure a smooth transition.

I appreciate the great opportunity given me with this position. I took office at a time when things were ripe for change and every couple of years Equalization took considerable steps to revamp and modernize processes and procedures making the office more efficient and accurate. It also digitized all the property records—safeguarding them against disaster. Having a particularly talented Deputy and cohesive team of co-workers made this possible. In the end, I needed Commission approval and received it from this and prior commissions—for that I am grateful. I also give counsel--that to be effective, change must be ongoing.

I am sorry to leave behind all of my coworkers and the great people at Yankton County. I am grateful for all of the wonderful experiences I have had here over the past sixteen years. I appreciate your understanding in this matter.

Sincerely,

Lori Mackey
Director of Equalization

Yankton County Planning Commission
Yankton County Board of Adjustment

Applicant Brad King

District type: ☐ AG ☐ R1-Low ☐ R2-Moderate ☐ R3-High ☐ C-Comm.

☐ LC – Lakeside Commercial ☒ RT-Rural Transitional

Variance needed:

☒ Section 1213 ☐ Section 515 ☐ Section 705 ☐ Section 715 ☐ Section 805

☒ Section 1807

NOTE:

Applicant is requesting a Variance to a proposed plat for Minimum Yard Requirement of 20 acres to 2.385 acres (a variance of 17.615 acres) in order to bring the lot more into compliance in a Rural Transitional District (RT) per Article 12 Section 1213. Said property is legally described as proposed Plat of Tract 4A, in DJ's Addition, Being Accretion Property Lying South of Tract 4, DJ's Addition in Section 16, T93N, R55W, of the 5th PM, hereinafter referred to as Mission Hill Township, Yankton County, South Dakota. The E911 address is TBD Eastside Drive, Yankton, SD.

PC:	Article 18 Section 1807	Article 12 Section 1213
BOA:	Article 19 Section 1907	Article 12 Section 1213

Planning Commission date: 11-10-20
Board of Adjustment date:

Time: 7:45 PM
Time:

Yankton County

 Variance Conditional Use Rezoning

Owner: Darlene Jensen

Owners Address: 511 Eastside Drive, Yankton, SD

Owners Phone: 605-653-0007

Applicants Name,
if different from

Owner: Brad King

Applicants

Address: 908 Bill Baggs Rd #19, Yankton, SD

Job Address: TBD East Side Drive

Legal: Proposed Tract 4A DJS addn being accretion property Lying South of

Section,
Township, Range: 16-93-55

Zoning
Classification: RT

Affected Zoning

Ordinance: Section 1807

Reason for Platt smaller than 20 acres

Request:

List Specific persuing purchasing adjoining property

Hardships:

SCHEDULED FOR PLANNING COMMISSION ACTION (DATE):

SCHEDULED FOR BOARD OF ADJUSTMENT ACTION (DATE):

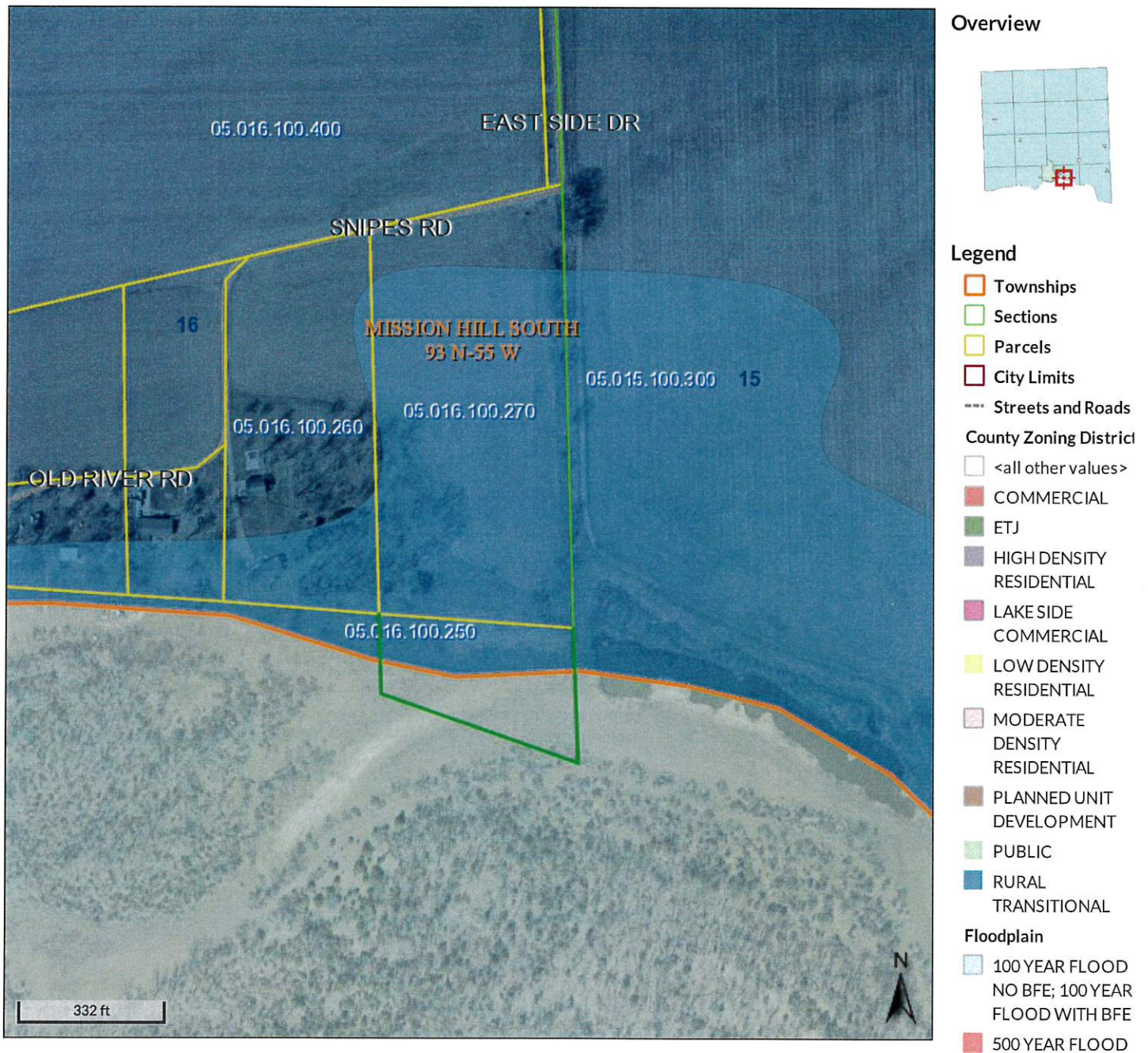
Application Fee: \$450.00 Check #: Receipt #:

Date:

10/29/2020

Signature:

Brad King



Disclaimer: Yankton County digital cadastral data are a representation of recorded plats and surveys for use within the Geographic Information System for purposes of data access and analysis. These and other digital data do not replace or modify land surveys, deeds, and/or other legal instruments defining land ownership or use.

Date created: 11/24/2020
Last Data Uploaded: 11/24/2020 8:32:23 AM

Developed by  **Schneider**
GEOSPATIAL

FINDINGS OF FACT – VARIANCE

Brad King – Var-20-29

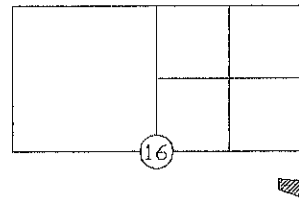
Are the requirements of Section 1723 met? (signed by owner unless there is a binding purchase agreement then signed by applicant, Variance accompanied by building permit (if applicable), site plan included with building permit,	Yes
Are the requirements of Section 1729 met? (all fees paid at time of application)	Yes
Section 1807:	
1. A. The strict application of the ordinance would produce undue hardship;	Applicant is requesting a Variance of the Minimum Lot Requirement from 20 acres to 2.385 acres in an Rural Transitional District
B. Such hardship is not shared generally by other properties in the same zoning district and the same vicinity;	The hardship can be shared by others but is limited to those with mortgage restrictions
C. The authorization of such variance will not be of substantial detriment to adjacent property and the character of the district will not be changed by the grant of the variance; and	It will not be of substantial detriment
D. The granting of such variance is based upon reasons of demonstrable and exceptional hardship as distinguished from variations for purposes of convenience, profit, and caprice.	No convenience, profit or caprice was shown
2. No variance shall be recommended for approval unless the Planning Commission finds the condition or situation of the property concerning or the intended use of the property concerned; or the intended use of the property is not of so general or recurring a nature as to make reasonably practicable the formulation of a general regulation to be adopted as an amendment of this ordinance.	It can be recurring with special circumstances discussed in the findings
3. A. A written application for a variance is submitted demonstrating that special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings, in the same district;	Property should have been added as accretion at time of purchase, bringing the property more into compliance
B. The literal interpretation of the provisions of this ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this ordinance;	Previous variances of this type have been granted
C. The special conditions and circumstances do not result	They are not the result of the applicant

	from the actions of the applicant; and	
D.	The granting of the variance requested will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structure, or buildings in the same district.	Previous variances of this type have been granted
E.	No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted or nonconforming use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.	None considered
F.	Notice of public hearing shall be given, as in Section 1803 (3-5).	Mailed – 11/23/20 Published – 11/27/20 Mailed – 12/16/20 Published – 12/18/20 & 12/26/20
G.	The public hearing shall be held. Any party may appear in person for by agent or by attorney.	Public hearing – 12/08/2020 & 01/05/2021
H.	The Planning Commission shall make findings that the requirements of this Section have been met by the applicant for a variance; the Commission shall further make a finding that the reasons set forth in the application justify the recommendation of granting the variance, and the variance is the minimum variance that will make possible the reasonable use of the land, building, or structure; the Planning Commission shall further make a finding that the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.	Brings further towards compliance
I.	In recommending approval of any variance, the Planning Commission may prescribe appropriate conditions and safeguards in conformity with this ordinance.	Motion to approve 5-0
J.	Under no circumstances shall the Planning Commission recommend granting a variance to allow a use not permissible under the terms of this ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this ordinance in said district.	

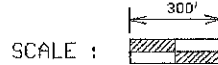
I Darlene Jensen am fine with Brad King
paying the variance on my Platt

Darlene Jensen

PLAT OF TRACT 4A, DJ'S ADDITION, BEING ACCRETION PROPERTY LYING SOUTH OF TRACT 4, DJ'S ADDITION, IN SECTION 16, T93N, R55W, OF THE 5TH. P.M., YANKTON COUNTY, SOUTH DAKOTA.



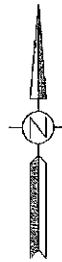
LOCATION



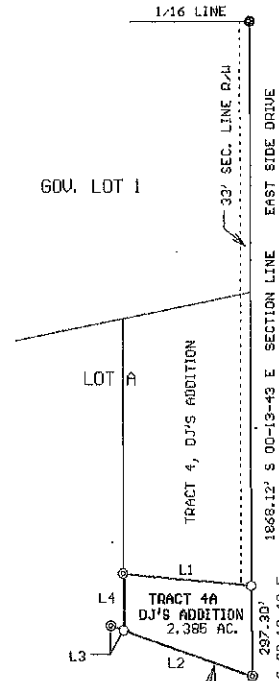
SCALE :

- ⊙ FOUND REBAR WITH CAP
- ⊛ FOUND PIPE
- SET 5/8" REBAR WITH CAP STAMPED TOM WEEK LS 2912

L1 = 430.06' S 84-17-11 E
 L2 = 454.72' N 70-29-30 W
 L3 = 43.92' N 70-29-30 W
 L4 = 188.26' N 00-09-06 W



KENNEDY SURVEY-SD/NEB. STATE LINE



SURVEYORS CERTIFICATE

I, THOMAS LYNN WEEK, REGISTERED LAND SURVEYOR IN YANKTON, SOUTH DAKOTA, HAVE AT THE DIRECTION OF THE OWNER, MADE A SURVEY OF TRACT 4A, DJ'S ADDITION, BEING ACCRETION PROPERTY LYING SOUTH OF TRACT 4, DJ'S ADDITION, IN SECTION 16, T93N, R55W, OF THE 5TH. P.M., YANKTON COUNTY, SOUTH DAKOTA. SAID SURVEY AND PLAT ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATED THIS 18TH. DAY OF JUNE, 2020.

Thomas Lynn Week
 THOMAS LYNN WEEK
 REGISTERED LAND SURVEYOR
 REG. NO. 2912

OWNERS CERTIFICATE

I, DARLENE M. JENSEN, DO HEREBY CERTIFY THAT I AM THE ABSOLUTE AND UNQUALIFIED OWNER OF THE ABOVE DESCRIBED REAL PROPERTY: TRACT 4A, DJ'S ADDITION, BEING ACCRETION PROPERTY LYING SOUTH OF TRACT 4, DJ'S ADDITION, IN SECTION 16, T93N, R55W, OF THE 5TH. P.M., YANKTON COUNTY, SOUTH DAKOTA. THAT THE ABOVE SURVEY AND PLAT WAS MADE AT MY REQUEST AND UNDER MY DIRECTION FOR THE PURPOSE OF LOCATING, MARKING AND PLATTING THE SAME, AND THAT SAID PROPERTY IS FREE FROM ALL ENCUMBRANCES. THE DEVELOPMENT OF THIS LAND SHALL CONFORM TO ALL EXISTING APPLICABLE ZONING SUBDIVISION AND EROSION AND SEDIMENT CONTROL REGULATIONS.

DATED THIS 25 DAY OF June, 2020.

Darlene M. Jensen
 DARLENE M. JENSEN

STATE OF SOUTH DAKOTA
 COUNTY OF YANKTON

ON THIS 25 DAY OF June, 2020, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED DARLENE M. JENSEN, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE WITHIN INSTRUMENT AND WHO ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME FOR THE PURPOSES THEREIN CONTAINED.

MY COMMISSION EXPIRES 09/25/2024

Kris L. Shury
 KRIS L. SHURY
 NOTARY PUBLIC

SHEET 1 OF 2



PLAT OF TRACT 4A, DJ'S ADDITION, BEING ACCRETION PROPERTY LYING SOUTH OF TRACT 4, DJ'S ADDITION, IN SECTION 16, T93N, R55W, OF THE 5TH. P.M., YANKTON COUNTY, SOUTH DAKOTA.

RESOLUTION OF COUNTY PLANNING COMMISSION

BE IT RESOLVED BY THE YANKTON COUNTY PLANNING COMMISSION, THAT THE ABOVE PLAT REPRESENTING TRACT 4A, DJ'S ADDITION, BEING ACCRETION PROPERTY LYING SOUTH OF TRACT 4, DJ'S ADDITION, IN SECTION 16, T93N, R55W, OF THE 5TH. P.M., YANKTON COUNTY, SOUTH DAKOTA, BE AND THE SAME IS HEREBY APPROVED.

CHAIRMAN, PLANNING COMMISSION

RESOLUTION OF APPROVAL

WHEREAS, IT APPEARS THAT THE OWNER THEREOF HAS CAUSED A PLAT TO BE MADE OF THE FOLLOWING REAL PROPERTY: TRACT 4A, DJ'S ADDITION, BEING ACCRETION PROPERTY LYING SOUTH OF TRACT 4, DJ'S ADDITION, IN SECTION 16, T93N, R55W, OF THE 5TH. P.M., YANKTON COUNTY, SOUTH DAKOTA, AND HAS SUBMITTED SUCH PLAT TO THE COUNTY COMMISSION OF YANKTON COUNTY, SOUTH DAKOTA FOR APPROVAL. NOW THEREFORE BE IT RESOLVED, THAT SUCH PLAT HAS BEEN EXECUTED ACCORDING TO THE LAW AND SAME IS HEREBY APPROVED. THE COUNTY AUDITOR IS HEREBY AUTHORIZED AND DIRECTED TO ENDORSE ON SUCH PLAT A COPY OF THIS RESOLUTION AND CERTIFY THE SAME.

I, _____, COUNTY AUDITOR OF YANKTON COUNTY, SOUTH DAKOTA, DO HEREBY CERTIFY THAT THE WITHIN AND FOREGOING IS A TRUE COPY OF THE RESOLUTION PASSED BY THE BOARD OF COUNTY COMMISSIONERS OF YANKTON COUNTY, SOUTH DAKOTA, ON THIS _____ DAY OF _____, _____.

COUNTY AUDITOR

CHAIRMAN OF THE BOARD OF COUNTY COMMISSIONERS

CERTIFICATE OF STREET AUTHORITY

ACCESS TO THIS PLATTED LOT WILL BE FROM THE SECTION LINE ROAD. ANY CHANGE IN THE EXISTING ACCESS SHALL REQUIRE ADDITIONAL APPROVAL.

DATED THIS _____ DAY OF _____, _____.

TOWNSHIP/COUNTY AUTHORITY

RESOLUTION BY THE CITY COMMISSION

WHEREAS, IT APPEARS THAT THE OWNER THEREOF HAS CAUSED A PLAT TO BE MADE OF THE FOLLOWING REAL PROPERTY: TRACT 4A, DJ'S ADDITION, BEING ACCRETION PROPERTY LYING SOUTH OF TRACT 4, DJ'S ADDITION, IN SECTION 16, T93N, R55W, OF THE 5TH. P.M., YANKTON COUNTY, SOUTH DAKOTA, AND HAS SUBMITTED SUCH PLAT TO THE CITY COMMISSION OF THE CITY OF YANKTON, SOUTH DAKOTA FOR APPROVAL; AND

WHEREAS, SUCH PLAT HAS BEEN SUBMITTED TO THE PLANNING COMMISSION OF THE CITY OF YANKTON, SOUTH DAKOTA FOR A REPORT AND RECOMMENDATIONS THEREON TO THE CITY COMMISSION AS REQUIRED BY LAW; NOW

THEREFORE BE IT RESOLVED, THAT SUCH PLAT HAS BEEN EXECUTED ACCORDING TO THE LAW AND SAME IS HEREBY APPROVED. THE CITY FINANCE OFFICER IS AUTHORIZED AND DIRECTED TO ENDORSE ON SUCH PLAT A COPY OF THIS RESOLUTION AND CERTIFY THE SAME.

MAYOR, CITY OF YANKTON, SOUTH DAKOTA

I, AL VIERECK, CITY FINANCE OFFICER OF THE CITY OF YANKTON, SOUTH DAKOTA, DO HEREBY CERTIFY THAT THE WITHIN AND FOREGOING IS A TRUE COPY OF THE RESOLUTION PASSED BY THE CITY OF YANKTON, SOUTH DAKOTA, ON THIS 27 DAY OF JULY, 2020.

CITY FINANCE OFFICER, YANKTON, SOUTH DAKOTA

DIRECTOR OF EQUALIZATION CERTIFICATE

THE UNDERSIGNED, COUNTY DIRECTOR OF EQUALIZATION OF YANKTON COUNTY, SOUTH DAKOTA, HEREBY CERTIFIES THAT SHE HAS RECEIVED A COPY OF THE FOREGOING PLAT. DATED THIS 10 DAY OF November, 2020.

DIRECTOR OF EQUALIZATION, YANKTON COUNTY, S.D.

TREASURER CERTIFICATE

THE UNDERSIGNED, COUNTY TREASURER OF YANKTON COUNTY, SOUTH DAKOTA, HEREBY CERTIFIES THAT ALL TAXES WHICH ARE LIEN UPON ANY LAND INCLUDED IN THE ABOVE PLAT, AS SHOWN BY THE RECORDS OF THIS OFFICE, HAVE BEEN PAID. DATED THIS _____ DAY OF _____, _____.

TREASURER, YANKTON COUNTY, S.D.

REGISTER OF DEEDS CERTIFICATE

THE UNDERSIGNED, REGISTER OF DEEDS, YANKTON COUNTY, SOUTH DAKOTA, HEREBY CERTIFIES THAT THE ORIGINAL PLAT WAS FILED FOR RECORD THIS _____ DAY OF _____, _____, _____ O'CLOCK _____ M., AND DULY RECORDED IN BOOK _____, PAGE _____.

PREPARED BY: TOM WEEK
407 REGAL DRIVE
YANKTON, SOUTH DAKOTA 57078
605-665-8333

REGISTER OF DEEDS, YANKTON COUNTY, S.D.

AFFIDAVIT OF MAILING

I, Brad King, hereby certify that on the 24 day of 11, 2020, I mailed by first class mail, postage prepaid, a true and correct copy of the Notice of Public Hearing to all owners of real property lying within a 1,320 feet radius of the proposed project to the most recent address of the recipient known to your Affiant.

A true and correct copy of the Notice of Public Hearing notification letters are attached as Exhibit #1 or #2.

A true and correct copy of the mailing list for owners of real property is attached as Exhibit #1A or #2A.

Dated the 24 day of 11, 2020.

Brad King

(Name)

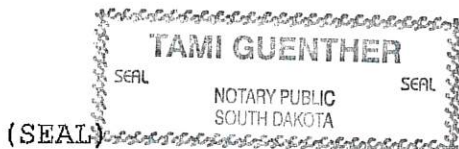
Affiant

Subscribed and sworn to before me this 24 day of November, 2020.

Tami Guenther

Notary Public - South Dakota

My commission expires: 10.4.23



AFFIDAVIT OF MAILING

I, Brad King, hereby certify that on the 22 day of December 2020. I mailed by first class mail, postage prepaid, a true and correct copy of the Notice of Public Hearing to all owners of real property lying within a 1,320 feet radius of the proposed project to the most recent address of the recipient known to your Affiant.

A true and correct copy of the Notice of Public Hearing notification letters are attached as Exhibit #1 or #2.

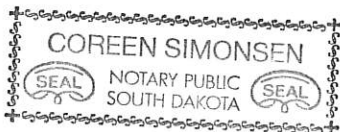
A true and correct copy of the mailing list for owners of real property is attached as Exhibit #1A or #2A.

Dated the 22 day of December 2020.

Brad King
(Name)
Affiant

Subscribed and sworn to before me this 22 day of December 2020.

Coreen Simonsen
Notary Public – South Dakota
My commission expires: 10/15/2021



NOTIFICATION

November 28, 2020

Brad King
908 Bill Baggs Rd #19
Yankton, SD 57078

Dear Yankton County Property Owner:

The Yankton County Zoning Ordinance requires written notification describing a specific action be sent to the owners of real property lying within 1,320 feet of the property on which the below described action is proposed. The notice shall be given to each owner of record by depositing such notice in the United States Post Office not less than 10 days prior to the hearing date. Therefore, you are hereby notified. Please take a moment to review the notice of public hearing described below.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held before the Yankton County Planning Commission, Yankton County, South Dakota, at 7:10 P.M. on the 8th day of December, 2020, at the Yankton County Government Center, Commissioners Chambers, 321 West Third St., Yankton South Dakota.

Said hearing is to consider the following:

Applicant is requesting a Variance for a plat in a Rural Transitional District from 20 acres to 2.385 acres. Said property is legally described as proposed Plat of Tract 4A, DJ's Addition, Being Accretion Property Lying South of Tract 4, DJ's Addition, in Section 16, T93N, R55W, of the 5th PM, hereinafter referred to Mission Hill Township, Yankton County, South Dakota. The E911 address is TBD Eastside Drive, Yankton, SD.

The application may be reviewed at the Zoning Administrators office, Yankton County Government Center, 321 West Third St., Yankton, S.D. or online at the Yankton County Website.

Sincerely,

Brad King
Petitioner

NOTIFICATION

December 26, 2020

Brad King
908 Bill Baggs Rd., #19
Yankton, SD 57078

Dear Yankton County Property Owner:

The Yankton County Zoning Ordinance requires written notification describing a specific action be sent to the owners of real property lying within 1,320 feet of the property on which the below described action is proposed. The notice shall be given to each owner of record by depositing such notice in the United States Post Office not less than 10 days prior to the hearing date. Therefore, you are hereby notified. Please take a moment to review the notice of public hearing described below.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held before the Yankton County Commission, Yankton County, South Dakota, at 7:00 P.M. on the 5th day of January, 2021, at the Yankton County Government Center, Commissioners Chambers, 321 West Third St., Yankton South Dakota.

Said hearing is to consider the following:

Applicant is requesting to Variance for a plat in a Rural Transitional District (RT) from 20 acres to 2.385 acres. Said property is legally described as proposed Plat of Tract 4A, DJ's Addition, Being Accretion Property Lying South of Tract 4, DJ's Addition, in Section 16, T93N, R55W, of the 5th PM, hereinafter referred to as Mission Hill Township, Yankton County, South Dakota. The E911 address is TBD Eastside Drive, Yankton, SD 57078.

The application may be reviewed at the Zoning Administrators office, Yankton County Government Center, 321 West Third St., Yankton, S.D. or online at the Yankton County Website.

Sincerely,

Brad King
Petitioner

C&C HAULING & CONSTRUCTION INC (D)
2300 WILLOWDALE RD
YANKTON SD 57078

EAGLE VENTURE PROPERTIES LLC (D)
PO BOX 711
YANKTON SD 57078

GULLIKSON, GREGORY (D)
3102 MISSOURI VALLEY DR
YANKTON SD 57078

HUNTLEY, CHARLES (D)
2015 GREEN ST #123
YANKTON SD 57078

JENSEN, DARLENE M (D)
511 EASTSIDE DR
YANKTON SD 57078

JOHNSON, MERTON (D)
PO BOX 32
WALKER IA 52352

KAISER, DONALD J (D)
3104 MISSOURI VALLEY DR
YANKTON SD 57078

KING, BRAD (D)
908 BILL BAGGS RD #19
YANKTON SD 57078

KNEIP, RONALD J REV LIV TRUST (D)
1380 TURNBERRY AVE
LE MARS IA 51031

LARRINGTON, THOMAS J (D)
406 SNIPE'S RD
YANKTON SD 57078

LLEWELLYN, KRIS (D)
3109 OLD RIVER RD
YANKTON SD 57078

NELSON, DOMINIC AUBREY (D)
801 EAST SIDE DR
YANKTON SD 57078

POSCH, THOMAS (D)
234 MARINA DELL AVE
YANKTON SD 57078

ROBINSON, CARMEN (D)
3106 MISSOURI VALLEY DR
YANKTON SD 57078

SOTELO-ZAGAL, JUAN ANTONIO (D)
3205 MISSOURI VALLEY DR
YANKTON SD 57078

WENZLAFF, RODGER (D)
805 EAST SIDE DR
YANKTON SD 57078

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held before the Yankton County Planning Commission, Yankton County, South Dakota, at 7:05 P.M. on the 8th day of December, 2020 at the Yankton County Government Center, Commissioners Chambers, 321 West Third St., Yankton, South Dakota. Applicant is requesting a Variance for a plat in a Rural Transitional District from 20 acres to 2.385 acres. Said property is legally described as proposed Plat of Tract 4A, DJ's Addition, Being Accretion Property Lying South of Tract 4, DJ's Addition, in Section 16, T93N, R55W, of the 5th PM, hereinafter referred to as Mission Hill Township, Yankton County, South Dakota. The E911 address is TBD Eastside Drive, Yankton, SD.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held before the Yankton County Planning Commission, Yankton County, South Dakota, at 7:10 P.M. on the 8th day of December, 2020 at the Yankton County Government Center, Commissioners Chambers, 321 West Third St., Yankton, South Dakota. Applicant is requesting a Conditional Use Permit for Repair shop in a Lakeside Commercial District (LC) per Article 11 Section 1107 at a camper dealership. Said property is legally described as Lot 7, Thon's Addition located in the SE1/4 of the NW1/4, Section 15, T93N, R56W, of the 5th PM, hereinafter referred to as Utica South Township, County of Yankton, State of South Dakota. The E911 address is 3311 Debra Blvd, Yankton, SD.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held before the Yankton County Planning Commission, Yankton County, South Dakota, at 7:15 P.M. on the 8th day of December, 2020 at the Yankton County Government Center, Commissioners Chambers, 321 West Third St., Yankton, South Dakota. Applicant is requesting to Rezone property in a dual zone of Lakeside Commercial District (LC) and Moderate Density Rural Residential District (R2) to Moderate Density Rural Residential District (R2). Said property is legally described as Lot 1A and Lot 3 of Leona's 2nd Addition in the NW1/4 of Section 17, T93N, R56W, of the 5th PM, hereinafter referred to as Utica South Township, Yankton County, South Dakota. The E911 address is 119 Marina Bluffs Rd, Yankton, SD 57078.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held before the Yankton County Commission, Yankton County, South Dakota, at 7:00 P.M. on the 5th day of January, 2021 at the Yankton County Government Center, Commissioners Chambers, 321 West Third St., Yankton, South Dakota. Applicant is requesting a Variance for a plat in a Rural Transitional District from 20 acres to 2.385 acres. Said property is legally described as proposed Plat of Tract 4A, DJ's Addition, Being Accretion Property Lying South of Tract 4, DJ's Addition, in Section 16, T93N, R55W, of the 5th PM, hereinafter referred to Mission Hill Township, Yankton County, South Dakota. The E911 address is TBD Eastside Drive, Yankton, SD.

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Yankton County Planning Commission
Yankton County Board of Adjustment

Applicant

Phil Spady

District type: ☐ AG ☐ R1-Low ☐ R2-Moderate ☐ R3-High ☐ C-Comm.

☒ LC – Lakeside Commercial ☐ RT-Rural Transitional

CUP needed:

☐ Section 507 ☐ Section 607 ☐ Section 707 ☒ Section 1107

☒ Section 1805 ☐ Section 1905

NOTE:

Conditional Use Permit

Applicant is requesting a Conditional Use Permit for Repair shop, motor vehicle in a Lakeside Commercial District (LC) per Article 11 Section 1107 at a proposed camper dealership. Said property is legally described as Lot 7, Thon's Addition located in the SE1/4 of the NW1/4, Section 15 T93N R56W, of the 5th PM, hereinafter referred to as Utica South Township, County of Yankton, State of South Dakota. The E911 address is 3311 Debra Blvd, Yankton, SD.

PC: Article 18 Section 1805 Article 11 Section 1107
BOA: Article 19 Section 1905 Article 11 Section 1107

Planning Commission date: 12-08-20
Board of Adjustment date:

Time: 7:10 PM
Time:

Yankton County

 Variance X Conditional Use Rezoning

Owner: Mariah Nelson

Owners Address: 55091 Winchester Drive Crofton, NE 68730

Owners Phone: 4022702316

Applicants Name,
if different from

Owner: Gavins Point Recreational Center LLC

Applicants

Address: 3311 Debra Blvd Yankton, SD 57078

Job Address: 3311 Debra Blvd

Legal: LT 7 THON'S ADDN SE4 NW4

Section,
Township, Range: 15-93-56

Zoning
Classification: LC

Affected Zoning
Ordinance: Section 1107

Reason for Request: To Establish a service repair center to service travel trailer, utility trailer, and fifth wheel campers

List Specific Hardships:

SCHEDULED FOR PLANNING COMMISSION ACTION (DATE):

SCHEDULED FOR BOARD OF ADJUSTMENT ACTION (DATE):

Application Fee: \$300.00 Check #: New Checking Receipt #:

Date:

11/20/2020

Signature:

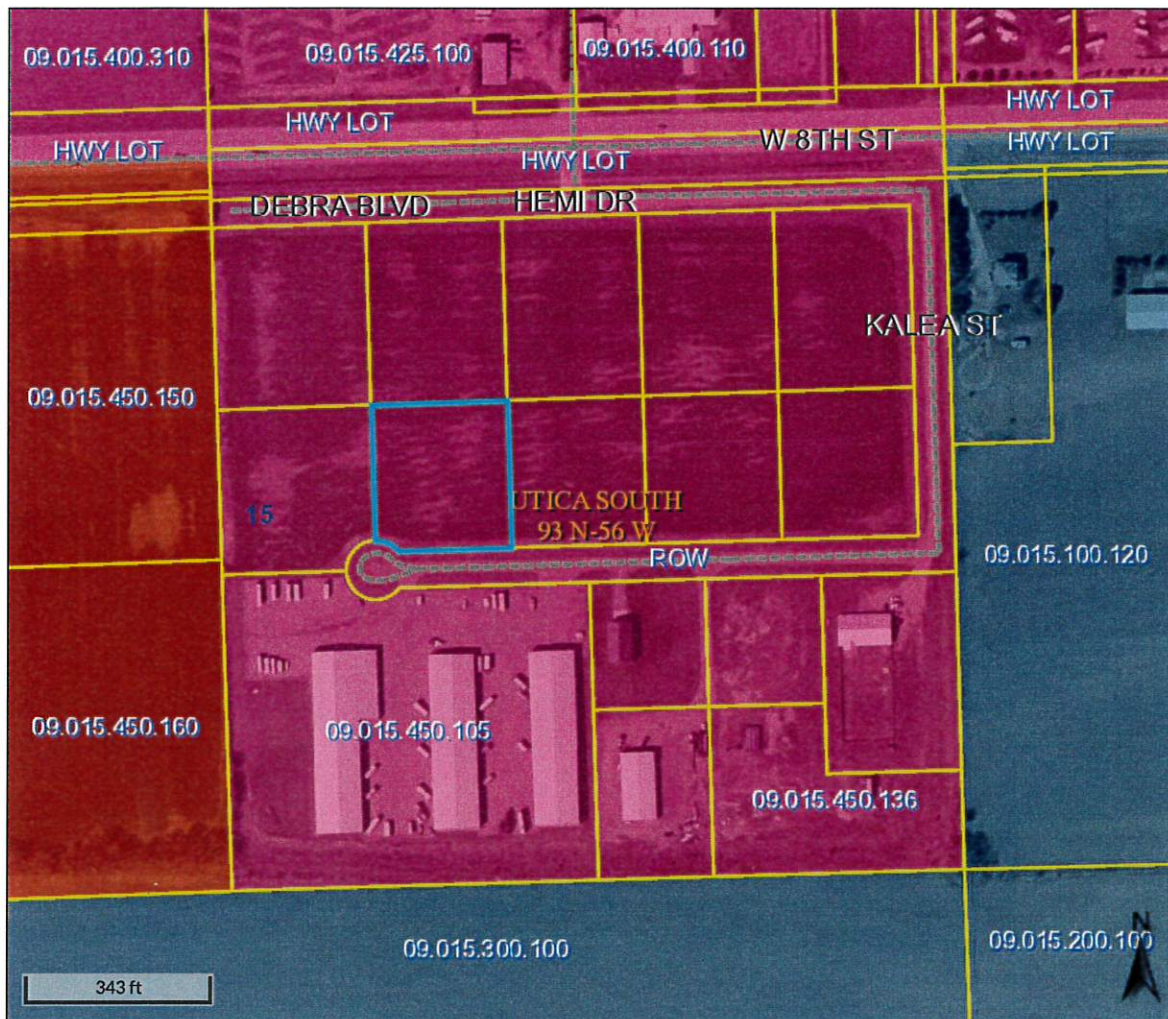
Gavins Point Recreational

Site Map

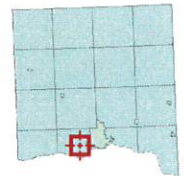


Parcel Number: 09.015.450.070

Site Description:



Overview



Legend

-  Townships
-  Sections
-  Parcels
-  City Limits
-  Streets and Roads
- County Zoning District**
-  <all other values>
-  COMMERCIAL
-  ETJ
-  HIGH DENSITY RESIDENTIAL
-  LAKE SIDE COMMERCIAL
-  LOW DENSITY RESIDENTIAL
-  MODERATE DENSITY RESIDENTIAL
-  PLANNED UNIT DEVELOPMENT
-  PUBLIC
-  RURAL TRANSITIONAL
- Floodplain**
-  100 YEAR FLOOD NO BFE; 100 YEAR FLOOD WITH BFE
-  500 YEAR FLOOD

Parcel ID - 09.015.450.070

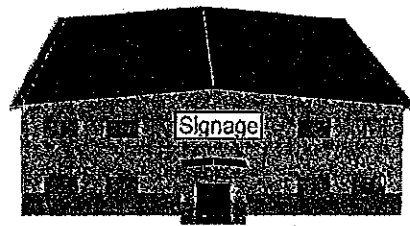
Owner - PHIL SPADY CHRYSLER-JEEP-DODGE (D)

Disclaimer: Yankton County digital cadastral data are a representation of recorded plats and surveys for use within the Geographic Information System for purposes of data access and analysis. These and other digital data do not replace or modify land surveys, deeds, and/or other legal instruments defining land ownership or use.

Date created: 11/24/2020

Last Data Uploaded: 11/24/2020 8:32:23 AM

Developed by  **Schneider**
GEOSPATIAL





FINDINGS OF FACT – CONDITIONAL USE PERMIT

Phil Spady – CUP-2020-30

Are the requirements of Section 1723 met? (signed by owner unless there is a binding purchase agreement then signed by applicant, Variance accompanied by building permit (if applicable), site plan included with building permit,	Yes
Are the requirements of Section 1729 met? (all fees paid at time of application)	Yes
Section 1805:	
1. Did you specifically cite, in the application, the section of the Ordinance under which the conditional use is sought and state the grounds on which it is requested	Applicant is requesting a Conditional Use Permit for Repair shop, motor vehicle in a Lakeside Commercial District (LC) per Article 11 Section 1107 at a proposed camper dealership
2. Was notice of public hearing given per Section 1803 (3-5)?	Notice given
3. Attend the public hearing	12-08-20
4. Planning Commission: Make a recommendation to include: a. Granting of conditional use; b. Granting with conditions; or c. Denial of conditional use	Motion to approve Conditional Use Permit in Lakeside Commercial District with the conditions that storm water runoff is addressed so it does not hinder or runoff to other people's property and cause damage 5-0
5. Planning Commission must make written findings certifying compliance with specific rules including: a. Ingress and Egress to proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe:	Ingress/Egress exists
b. Off right-of-way parking and loading areas where required; with particular attention to the items in (A) above and the economic, noise, glare or odor effects of the conditional use on adjoining properties and properties generally in the district;	There will be off right of way parking
c. Refuse and service areas, with particular reference to the items in (A) and (B) above;	Refuse and service areas will exist
d. Utilities, with reference to locations, availability, and compatibility;	Utilities are available
e. Screening and buffering with reference to type, dimensions, and character;	No additional screening requested
f. Signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effect;	Signs permits will be requested if needed
g. Required yards and other open spaces; and	Required yards exists

h. General compatibility with adjacent properties and other property in the district and that the granting of the conditional use will not adversely affect the public interest.	Concerns of drainage, planning commission recommends having a study done and a report filed to show storm water runoff won't damage neighboring properties
--	--

2024-10-10 10:10 AM

Site Improvements

Gavins Point Recreational Center

Yankton, South Dakota

VICINITY MAP (REGIONAL):



VICINITY MAP (LOCAL):



SHEET INDEX:

SHEET #	SHEET NAME
SHEET NO. A-1	TITLE SHEET
SHEET NO. A-2	LEGEND AND SYMBOLS
SHEET NO. A-3	DATA CONTROL / ORIENTATION
SHEET NO. D-1 THRU D-2	GENERAL NOTES
SHEET NO. G-1 THRU G-4	EROSION CONTROL
SHEET NO. H-1	EXISTING CONDITIONS
SHEET NO. J-1 THRU J-3	GRADING PLAN
SHEET NO. I-1 THRU I-2	DETAILS



Site Improvements
Gavins Point Recreational Center
Yankton, South Dakota
PROJECT # 2024



Bid Set

Title Sheet

A-1

LEGEND OF SYMBOLS

	CENTERLINE
	PROPERTY LINE
	MAJOR CONTOUR
	MINOR CONTOUR
	WATER MAIN
	STORM SEWER
	SANITARY SEWER
	SANITARY SEWER FORCE MAIN
	COMBINED SEWER
	GAS MAIN
	UNDERGROUND TELEPHONE
	OVERHEAD TELEPHONE
	UNDERGROUND POWER
	OVERHEAD POWER
	FIBER OPTIC
	UNDERGROUND CABLE TV
	OVERHEAD CABLE TV
	TRAFFIC
	INDUSTRIAL WASTE
	LAWN SPRINKLER LINE
	CONC. CURB & GUTTER
	APPROACH
	WOOD FENCE
	CHAIN LINK FENCE
	BARBED WIRE FENCE

	DECIDUOUS TREE
	CONIFEROUS TREE
	TREE SNUB
	SHRUB
	BENCH
	PARKING METER POST
	MAIL BOX
	FLAGPOLE
	SPRINKLER HEAD
	GAS VALVE
	TRAFFIC SIGNAL LIGHT
	POWER POLE
	CUFF WIRE
	STREET LIGHT
	FLOOD LIGHT
	HISTORICAL TREE LIGHT
	UTILITY CLOSURE
	WELL
	WATERMAIN SHUT OFF
	FIRE HYDRANT
	WATERMAIN VALVE & BOX
	WATERMAIN CAP
	WATERMAIN TEE
	WATERMAIN CROSS
	WATERMAIN REDUCER

	WATERMAIN SLEEVE
	UTILITY CLEANOUT
	UTILITY RISER
	UTILITY METER
	STORM SEWER MANHOLE
	SANITARY MANHOLE
	WATER MANHOLE
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	FIBER OPTIC MANHOLE



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Site Improvements
Gavins Point Recreational Center
Yankton, South Dakota
BID PROJECT # 2004

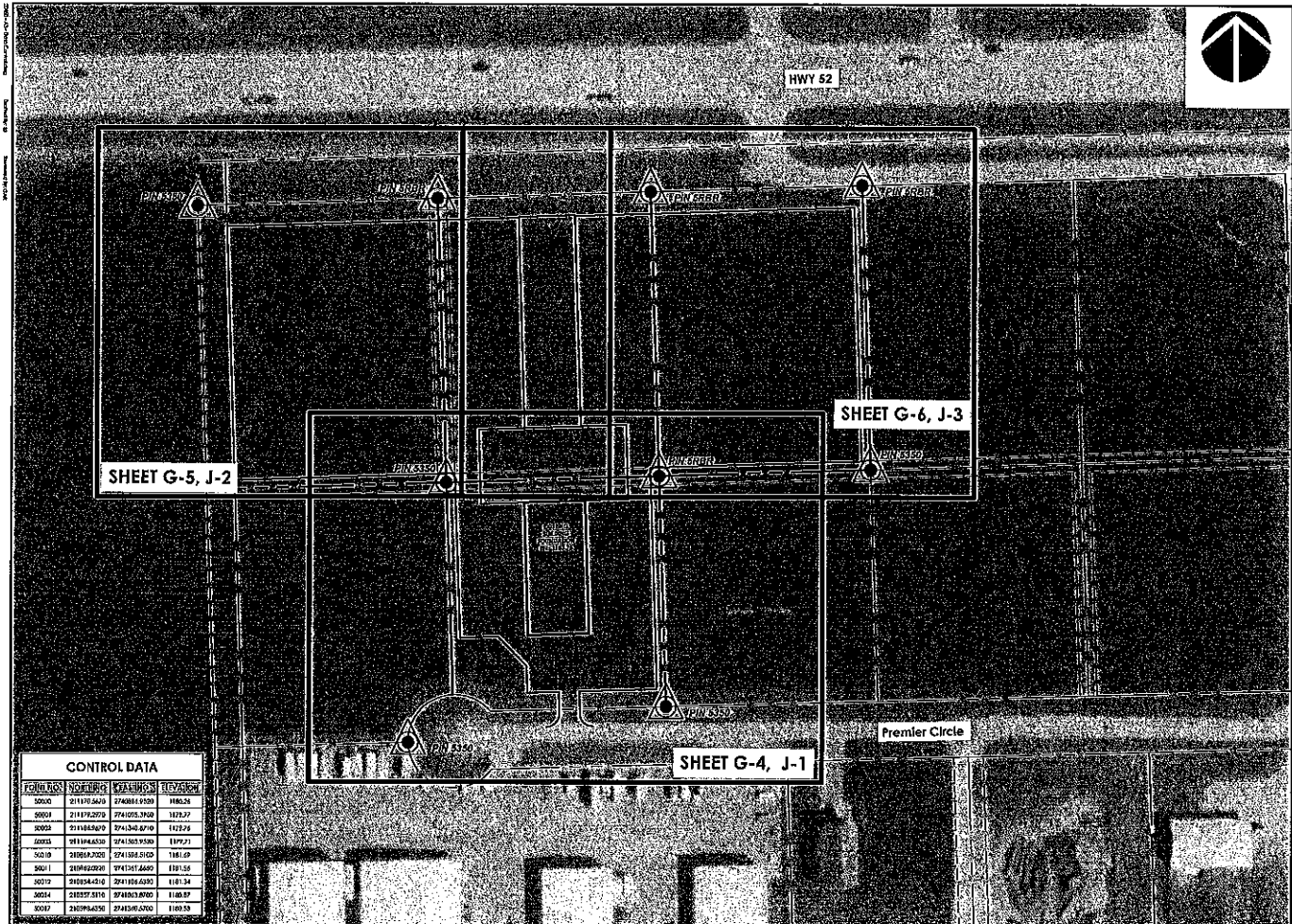


PROFESSE ENGINEER

Bld Set

LEGEND OF
SYMBOLS

A-2



Site Improvements
Gavin's Point Recreational Center
Yankton, South Dakota
DRAWN BY: J. J. JONES



81d Set

Data Control /
Orientation

A-3

GENERAL NOTES**PROJECT SCOPE**

This project consists of site development of the Lots 1, 2, 4 and 7 of Thor's Addition in Yankton, South Dakota. The project will consist of grading, gravel, topsoil placement, erosion control and permanent seeding.

SPECIFICATIONS TO BE USED

The most current edition of the City of Yankton General Conditions for Public Improvements and Supplemental Standard Specifications, the most current edition of the South Dakota Department of Transportation (SDDOT) Standard Specifications for Roads and Bridges with Supplemental Specifications and Errata and required provisions, supplemental specifications, and/or special provisions, together with the City of Yankton's general conditions and specifications as included in the Project Manual are hereby made a part of these specifications in their entirety unless otherwise revised, deleted, or supplemented herein.

The South Dakota Department of Transportation Standard Specifications for Roads and Bridges with Supplemental Specifications and Errata can be downloaded from the SDDOT's website at <http://www.sddot.com>. The City of Yankton's general conditions and specifications are included in the Project Manual.

ORDER OF PRECEDENCE

If conflicts arise, the order of precedence of the contract documents shall be as follows: Plans over Special Provisions over SDDOT Supplemental Specifications and Errata over SDDOT Standard Specifications for Roads and Bridges.

DRAINAGE

Drainage is the Contractor's responsibility. Contractor shall be aware of existing drainage conditions and facilities and shall provide for drainage during all phases of construction. Damage caused by improper temporary drainage facilities shall be repaired at the Contractor's expense and to the satisfaction of the Engineer.

UTILITIES

All utilities shall be verified by the Contractor prior to starting work. Any time existing utilities impede the progress of work, the Contractor shall immediately notify the Engineer.

All utilities, whether privately or publicly owned, shall be moved, relocated, and/or replaced as necessary, by the respective utility company or companies except as noted in the plans. Those modifications shall take place in advance of construction when applicable or when advised by the Engineer. No payment shall be made to the Contractor unless specified in the contract documents.

The Contractor shall safeguard all utilities and coordinate his efforts to coincide with utility work by others in order to minimize inconvenience to the public and utility companies. When pipe utility installation crosses existing utilities, the Contractor shall be responsible for supporting the utilities in a manner that is acceptable to the owner of the utility. Any damage caused to the utilities due to Contractor carelessness shall be repaired at the Contractor's expense to the satisfaction of the utility owner.

Abandoned utilities (gas lines, telephone lines, etc.) encountered during construction shall be removed and disposed of by the Contractor. Costs associated with this work shall be incidental to the various bid items associated with work adjacent to the abandoned utility.

The Contractor shall be responsible for the coordination of all work associated with the disturbance, removal, or replacement of underground metallic natural gas mains or services when encountered. The Contractor shall, in advance and prior to proceeding with the work, coordinate with the City of Yankton, Northwestern Energy, and all other companies related to the associated work.

Existing utility locations shown on drawings are approximate. There is no guarantee that the utilities shown include all such utilities or that the locations indicated are exact. The Contractor shall contact South Dakota One Call system to verify locations of all existing utilities prior to excavation.

The Contractor shall be responsible for notifying South Dakota One Call 1-800-781-7474 to have utilities field located.

The following utility companies are known to have facilities in the vicinity of the project:

City of Yankton Environmental Serv. Kyle Goodenowen 316 W. Riverside Dr.	MidAmerican Energy Company Nicole Rasmussen 1200 S. Blauvelt
--	--

Yankton, SD 57078
(605) 698-6270

Northwestern Energy
Brad Wierwille
318 Cedar Street
Yankton, SD 57078
(605) 695-7459

SD Human Services Center
Todd Quinter
3515 Broadway Ave
Yankton, SD 57078
(605) 330-1927

Vast Broadband
2810 Fox Run Parkway
Yankton, SD 57078

The Contractor shall cooperate with and coordinate his efforts to work with the utility companies and their contractors. Each bidder shall be responsible prior to bid letting, for determining the effects of utility work on the project work scope and schedule and shall account for all such effects in his bid. No consideration will be given to the Contractor after the bid letting on account of utility work done by others.

PROTECTION OF EXISTING SANITARY SEWER, WATER MAIN AND STORM SEWER SYSTEMS

For the protection of existing public underground utilities and the surrounding work area, consideration shall be given to isolating portions of the existing water distribution system within the construction limits while maintaining fire protection. During underground utility installation, such as, but not limited to, sanitary sewer, water main, storm sewer, etc., in the proximity of existing water main and/or water services, the existing water main distribution shall be isolated within the work area. The Contractor shall become aware of the location and status (condition) of any designated isolation valve(s). Final water shall be notified immediately in the event of a water service emergency or interruption. It will be permissible for the Contractor to operate the designated valve(s) in the event of an emergency provided they furnish a valve operating key.

Existing sanitary sewer lines and manholes within the construction limits shall be protected at all times during construction. The upstream ends of existing sanitary sewer lines downstream from new sanitary sewer construction shall be plugged at locations to be approved by the Engineer. Water, stone, dirt, gravel, asphalt, concrete or any other debris shall not be allowed to enter the City's sanitary sewer system during flushing operations or at any other time. Construction taking place in the vicinity of any existing sanitary sewer lines or manholes shall not cause any inflow of surface water, ground water, water from damaged water lines, or debris to enter the sanitary sewer system. The Contractor shall be responsible for any damages incurred to the sanitary sewer system and/or private property and any actions imposed by SD DENR due to spills or overflows.

The Contractor shall ensure that all manholes are secured, protected and watertight at the end of each workday. Under no circumstances shall an uncompleted or completed manhole be left uncovered, unprotected, or not watertight overnight.

Existing storm sewer inlets and pipes within the construction limits shall be protected from the entrance of stone, dirt, gravel, asphalt, concrete or any other debris during construction. After verification, the Contractor shall coordinate information with the Engineer.

WASTE DISPOSAL SITE

All materials generated from this project for disposal must be disposed of at a state-permitted solid waste disposal site. Depending on what material is generated and whether it is contaminated or uncontaminated will determine which permitted facility can accept it. Permitted facilities include construction and demolition debris sites, restricted use sites, and regional landfills. The Contractor can contact the City of Yankton to identify locally permitted disposal sites for various categories of contaminated and uncontaminated materials.

All costs associated with disposing of waste shall be incidental to the various contract items.

DEWATERING

Groundwater is not anticipated to be encountered during excavation although dewatering may be needed to perform the contract work. There is no separate bid item for dewatering and all costs associated shall be incidental to the various related bid items.

If necessary, the Contractor will be responsible to obtain a dewatering permit from the DENR.

Sioux Falls, SD 57105
(605) 373-5091

Century Link
Doug Wustel
125 S. Dakota Avenue
Sioux Falls, SD 57104
605-330-5307

Midcontinent Communications
Al Mullink
3307 S. D. Avenue
Sioux Falls, SD 57105
(605) 274-8546

It shall be the responsibility of the Contractor to discharge and dispose of the water in an approved manner. No water shall be allowed to enter the sanitary sewer. The Contractor shall dispose of water in a suitable manner without damage to adjacent property. The water shall be filtered using an approved method to remove sand and fine-sized soil particles before disposal into any drainage system. Discharge from dewatering operations shall be controlled to prevent erosion and silt.

The Contractor is responsible for obtaining a Temporary Water Use Permit from the SD DENR prior to commencing dewatering operations. Prior to excavating, the Contractor shall submit for review a dewatering plan to be approved by the Engineer.

REMOVALS**CLEARING**

Contractor shall clear all trees and shrubs shown to be removed on the plans. Clearing will include all removal and disposal of trees less than six (6) inches in diameter, stumps, roots, and other vegetation designated for removal and mowing as required. The Engineer will establish construction limit lines prior to the start of clearing operations. The Engineer, at the start of the project, will mark the clearing limits.

Organic material shall not be used as fill in trenches or embankment. The Contractor shall dispose of all trees, brush, stumps, roots and other remains in a legal manner. Burning or burning of debris on or adjacent to the project shall be prohibited.

Erosion control measures shall be installed and functioning prior to clearing and excavation. See erosion control plans and notes.

GRADING**TABLE OF EARTHWORK QUANTITIES**

Excavation (Cut)	1,375.00
Embankment (Fill)	4,820.00

The estimated quantities shown for both excavation and fill have been derived taking the finish ground surface compared to the existing ground surface. Stripping of topsoil, pavement sections and building excavation have not been considered in the quantities.

UNCLASSIFIED EXCAVATION

Excavate the existing subgrade to provide for the required depth of aggregate base course and asphalt surfacing or aggregate base course and concrete surfacing. Earthwork shall be performed as shown on appropriate cross sections.

Due to the difficulty in making field measurements on this project and to expedite final payment, the computed quantity of Unclassified Excavation shall be the basis of payment for this item. No field measurements will be made for payments except when changes from the plan shown construction limits are ordered by the Engineer.

All excavations made for underground utilities are incidental to the installation of that utility. All spoil material removed for pipe installation is the property of the owner and is to be spread out and wasted onsite.

The excess soil resulting from earthwork activities, if any, shall become the property of the Owner and the Contractor shall be responsible to spread out and waste this material at a location near the project.

Water for compaction of subgrade and embankments shall be provided by the contractor and used to maintain soil at 1 to 4 percent below optimum moisture content to obtain required density. Compaction of subgrade and embankments shall be governed by the specified density method. Compaction of embankment shall be no less than 95% of Standard Proctor density.

SITE RESTORATION

The contractor shall restore all areas disturbed by construction. Following completion of grading operations, topsoil shall be spread evenly over the disturbed areas to a depth of 6



Site Improvements
Gavin's Point Recreational Center
Yankton, South Dakota
187 Project # 2045



Bid Set

GENERAL
NOTES

D-1

Inches. Any excess construction material in the disturbed area shall be removed prior to installation of topsoil.

TOPSOIL STRIPPING

Prior to starting construction operations, ALL existing topsoil and organic material within the building footprints will need to be removed down to clay or suitable subgrade. In all other disturbed areas, a minimum of 6" shall be stripped and provide a sufficient volume of topsoil from the construction limits to cover the disturbed turf areas.

PLACING TOPSOIL

The topsoil shall be smooth, uniform, and free of stones 1 inch or larger in any dimension, roots and other extraneous or undesirable material harmful to plant growth.

SURFACING

AGGREGATE BASE COURSE

Aggregate Base Course shall be in accordance with SDDOT Standard Specifications Section 260. Material for base course shall meet requirements set forth in SDDOT Standard Specifications Section 882.

Aggregate Base Course shall be compacted with pneumatic rollers and shall conform on each lift of the base course until the surface is firm and unyielding, and achieve a density of 97% of the maximum dry density as determined by SD 104, Method 4 and SD 105 or SD 114.

Water for compaction shall be considered incidental to corresponding bid item.

MISCELLANEOUS CONCRETE

Concrete for inlets, curb and gutter, valley gutters, sidewalk, driveway approaches, fence post footings and outlet structures shall be Class M-6 as detailed in the SDDOT Standard Specifications Section 462.

Concrete shall be cured using a curing compound in accordance with section 821.1 of the 2015 SDDOT Standard Specification for Roads and Bridges. A 1/2" preformed expansion material shall be placed between the sidewalk and other concrete items (back of curb, driveways, existing sidewalks, etc.). The expansion material shall also be installed every 100' along sidewalks.

CONCRETE CURING

All concrete shall be cured in accordance with section 463.3.M of the 2015 SDDOT Standard Specifications for Roads and Bridges except as modified in this note. All concrete shall be cured with a white pigmented liquid oil base emulsion compound when cured using the Impervious Membrane Method. Curing compound material shall be in accordance with section 821.1.D.

Apply liquid curing compound in a fine spray to form a continuous, uniform solid white opaque coverage (equal to a white sheet of typing paper) on the horizontal surface and vertical edges of pavement, curbs and back of curbs immediately after surface moisture has disappeared, but no later than 30 minutes after finishing. Concrete edges exposed by the removal of forms shall also be cured. Apply the curing compound in 2 equal applications, in opposing directions, to ensure a uniform coverage. With the approval of the Engineer, the timing of cure application may be adjusted due to varying weather conditions and concrete mix properties to ensure acceptable macrotexture is achieved.

Failure to comply with the provisions may result in a price adjustment or rejection of the concrete.



Life Improvements
Gavins Point Recreational Center
Yankton, South Dakota
BID Project # 12040



Bld Set

GENERAL
NOTES

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Storm Water Pollution Prevention Plan (SWPPP) Also known as an Erosion and Sediment Control Plan (ESCP)

NARRATIVE

OWNER/CONTRACTOR

Phil Spady Holdings Inc.
316 Capital Street
Yankton, SD 57078
Project Manager: Mariah Nelson
Email Address: mariahnelson@outlook.com
Phone Number: (402) 270-2316

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Name: _____

Printed Name

Signed: _____ Date: _____

DESIGN ENGINEER

Stockwell Engineers, Inc.
201 Walnut St.
Yankton, SD 57078
Registered Engineer: Gaard Rops
Email Address: grops@stockwellengineers.com
Phone Number: 605-655-8092

This SWPPP appears to fulfill the technical criteria for erosion control and the requirements of Yankton County. I understand that additional erosion and sediment control measures may be needed if unforeseen erosion problems occur or if the submitted plan does not function as intended. The requirements of this plan shall run with the land and be the obligation of the **Primary Responsible Party** until such time as the plan is properly completed, modified or voided.

Signed: _____ Date: _____

PRIME CONTRACTOR

The "Department of Environment and Natural Resources - Contractor Certification Form" (SD Form - 2110LD) is to be executed by the Prime Contractor or his representative after the award of the contract. Work may not begin on the project until this section is signed.

The form certifies under penalty of law that the Contractor understands and will comply with the terms and conditions of the Surface Water Discharge General Permit for Storm Water Discharges Associated with Construction Activities for the Project.

NOTICE OF INTENT

A Notice of Intent (NOI) for coverage under the General Permit for Storm Water Discharges Associated with Construction Activities must be submitted by the Owner to obtain a NOI number. Once obtained, a copy of the permit may be downloaded from <http://denr.sd.gov/DesSwp/Permits/ConstructionGeneralPermit2010.pdf>

PERMIT AND EROSION CONTROL CONTACT INFORMATION POSTING

The Owner/Contractor is required to post and maintain for public viewing a laminated copy of the Department of Environment and Natural Resources authorization letter. The Owner/Contractor is also required to post and maintain for public viewing an Erosion Control Contact Information Posting (ECCIP) sign. The sign shall include the name and contact information of the Contractor. The letter and ECCIP sign must be posted in a prominent location such as the project's information board or the main entrance of the construction site.

MODIFICATIONS TO THE SWPPP

The Engineer may order changes to the SWPPP and/or the Owner/Contractor is responsible to request changes to the SWPPP if unforeseen changes occur, or the SWPPP does not perform as intended, or to improve the effectiveness of the SWPPP, or to comply with the SD DENR permit. The Engineer will evaluate and determine if any Contractor requested changes to the SWPPP should be made. The Contractor is responsible to implement these changes as soon as practical. All approved changes to the SWPPP must be documented by the Engineer.

KEEPING THE SWPPP CURRENT

The Engineer will be responsible to maintain an original copy of the SWPPP. Any modifications to the SWPPP must be documented and made part of the SWPPP. Any modifications must be recorded on the modification form, and a copy of the form will be submitted to the Owner/Contractor for implementation. The SWPPP must be retained by the Owner for a period of 3 years from submittal of the Notice of Termination.

INSPECTIONS

The Owner/Contractor and Engineer will be required to perform inspections on the project at the following minimum frequency until the site has reached final stabilization and a Notice of Termination is submitted to the SD DENR:

1. Prior to the removal of any surfacing or topsoil.
2. Once every seven calendar days (minimum). When runoff is unlikely due to winter conditions the inspections may be reduced to once a month.
3. Within 24 hours after every rainfall of 1/2 inch or greater.
4. After a snow melt that causes erosion.
5. Within 24 hours of a complaint being made to the Contractor or Engineer.

The Engineer reserves the right to perform inspections more frequently than identified and additional inspections will be made if obvious items of non-compliance exist. If the Contractor fails to attend any inspection it does not relieve them of their responsibility to comply with any corrective or maintenance actions needed.

Items noted as being non-compliant or needing maintenance as a result of the inspections must be corrected as soon as practical. The site shall continue to be considered in non-compliance until the issue has been corrected to the satisfaction of the Engineer.

NOTICE OF TERMINATION

The Owner/Contractor is responsible for complying with the SWPPP until a Notice of Termination (NOT) of coverage under the General Permit has been issued. The N.O.T. will be prepared by the Engineer for submittal to SD DENR when all storm water discharges covered by the permit are eliminated and final stabilization has been achieved on all portions of the site for which the permittee is responsible. Final stabilization means either a or a combination of:

1. All soil disturbing activities at the site have been completed and a uniform perennial vegetative cover with a density of 70% of the native cover for unpaved areas and areas not covered by permanent structures has been established, or equivalent permanent stabilization measures (such as the use of riprap, gabions, or geotextiles) have been employed; or
2. For construction projects on land used for agricultural purposes, final stabilization may be accomplished by returning the disturbed land to its pre-construction agricultural use. Areas disturbed that were not previously used for agricultural activities, such as buffer strips immediately adjacent to "waters of the state," and areas which are not being returned to their pre-construction agricultural use must meet the final stabilization criteria in (1) above.

PROJECT DESCRIPTION

This project is located inside the City of Yankton, South Dakota. The project is located in Section 15-T93N-R56W, and consists of lot grading, gravel, concrete surfacing, topsoil placement, erosion control and permanent seeding.

EXISTING SITE CONDITIONS

The site is currently undeveloped with no building located on it. Highway 52 is located to the north, there is undeveloped land to the east and west a developed property and a developed property to the south.

AREA AND VOLUME DISTURBED

The total surface area to be disturbed is 6.71 acres.

EROSION/SEDIMENT CONTROL SEQUENCE AND TIME SCHEDULE

The following paragraph(s) are intended to provide a guideline to the Owner/Contractor for the installation of initial erosion and sediment control measures and implementation of the erosion control plan during construction. The timeline and sequence are for reference only and may change depending on the Owner/Contractor's sequence of operations and must be approved by the Engineer prior to making changes.

PERMANENT STABILIZATION MEASURES

All turf areas disturbed as part of the project will be seeded and mulched. Silt fence will be installed along project limits as noted on plans.

GOOD HOUSEKEEPING

Nonstructural BMPs such as good housekeeping measures can, to some degree, prevent the deposition of pollutants on the urban landscape or remove pollutants at their source. The source of pollutants for assimilation into storm water is the land surface itself, especially the impervious surfaces in the urban area. Thus, it is expected that when nonstructural measures are effectively implemented, they will reduce the amount of pollutants being deposited on land surfaces for eventual contact with storm water and transported to the receiving water system. Therefore, the Contractor should evaluate and determine which appropriate good housekeeping measures listed below could be used.

Operation and Maintenance: To assure that equipment and work-related processes are working well, the following practices can be implemented:

1. Maintain dry and clean floors and ground surfaces by using brooms, shovels, vacuum cleaners, or cleaning machines rather than wet cleanup methods.
2. Regularly pick up and dispose of garbage and waste material.
3. Make sure all equipment and related processes are working properly and preventative maintenance is kept up with on both.
4. Routinely inspect equipment and processes for leaks or conditions that could lead to discharges of chemicals or contact of storm water with raw materials, intermediate materials, waste materials, or products used on site.
5. Assure all spill cleanup procedures are understood by employees. Training of employees on proper cleanup procedures shall be implemented.
6. Designate separate areas of the site for auto parking, vehicle refueling, and routine maintenance.
7. Clean up leaks, drips, and other spills immediately.
8. Cover and maintain dumpsters and waste receptacles.

Material Storage Practices: Improperly storing material on site can lead to the release of materials and chemicals that can cause storm water runoff pollution. Proper storage techniques include the following:

1. Provide adequate aisle space to facilitate material transfer and ease of access for inspection.
2. Store containers, drums, and bags away from direct traffic routes to prevent accidental spills.
3. Stack containers according to manufacturer's instructions to avoid damaging the containers from improper weight distribution.
4. Store containers on pallets or similar devices to prevent corrosion of containers that results from containers coming in contact with moisture on the ground.
5. Store toxic or hazardous liquids within curbed areas or secondary containers.
6. Assign responsibility of hazardous material inventory to a limited number of people who are trained to handle such materials.

Material Inventory Practices. An up-to-date inventory kept on all materials (both hazardous and nonhazardous) present on site will help track how materials are stored and handled onsite, and identify which materials and activities pose the most risk to the environment. The following description provides the basic steps in completing a material inventory:

1. Identify all chemical substances present at work site. Perform a walk-through of the site, review purchase orders, list all chemical substances used, and obtain Material Safety Data Sheets (MSDS) for all chemicals.
2. Label all containers. Labels shall provide name and type of substance, stock number, expiration date, health hazards, handling suggestions, and first aid information. This information can also be found on an MSDS.
3. Clearly mark on the hazardous materials inventory which chemicals require special handling, storage, use, and disposal considerations. Decisions on the amounts of hazardous materials that are stored on site shall include an evaluation of any emergency control systems that are in place. All storage areas shall be designed to contain any spills.

Training and Participation. Frequent and proper training in good housekeeping techniques reduces the possibility of chemicals or equipment that will be mishandled. Reducing waste generation is another important pollution prevention technique. The following are ways to get people involved in good housekeeping practices:

1. Provide information sessions on good housekeeping practices in training programs.



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**EROSION
CONTROL NOTES**

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2. Discuss good housekeeping at meetings.
3. Publicize pollution prevention concepts through posters or signs.

METHODS OF ENSURING SURFACE WATER QUALITY

The Owner/Contractor shall be responsible to ensure no sediment laden waters leave the project without exposure to an erosion or sediment control device.

The only non-storm water discharge allowed by the General Permit for Storm Water Discharges Associated with Construction Activities is uncontaminated ground water or water, used as a best management practice, to wash vehicles and control dust. It is the responsibility of the Contractor to obtain a General permit to discharge under the South Dakota Surface Water Discharge System for temporary discharge activities in South Dakota (dewatering permit) for all other non-storm water discharges. All monitoring, testing, and other requirements of the dewatering permit are the responsibility of the Contractor.

Pumping (mechanically discharging) sediment laden water including ponded storm water or contaminated trench-dewatering into the storm sewer or off the project site is not covered under the General Permit. It is the responsibility of the Contractor to obtain and comply with a dewatering permit for these activities. The Engineer may notify the SDDNR if the Contractor is observed pumping sediment laden water into the storm sewer or off site. Pumping sediment laden water through lake protection is not allowed as a BMP.

In lieu of pumping sediment laden water, the following are some methods the Contractor may use to control sediment laden water.

- The best method is for the Contractor to maintain positive drainage during all phases of the project to prevent water from ponding on the project.
- Treat the sediment laden water onsite through the use of filter bags, defoaming chemicals, sediment basins, or a portable containment system.
- Pump or discharge the water to other portions of the site. This is allowed if the waters do not leave the project limits.

No payment will be made to the Contractor to comply with a dewatering permit, unless otherwise specified and it will be considered incidental to the various bid items.

AGENCY COORDINATION

Are wetlands an issue? No

If wetlands are an issue, has a determination been made by the US Army Corps of Engineers? N/A

Does the State Historical Preservation Office (SHPO) need to review these plans? No

Does the SD Game Fish and Parks need to review these plans? No

Does the US Fish and Wildlife Service need to review these plans? No

MODIFICATIONS OF EROSION AND SEDIMENT CONTROL DEVICES TO PREVENT PROPERTY DAMAGE

The Owner/Contractor is responsible to maintain drainage. In the event that an erosion or sediment control device is detouring drainage and damage to property is possible the Contractor may temporarily modify or remove the device to facilitate drainage. An example is inlet protection in a sump location surrounded by buildings. If a device is removed for this purpose, the Contractor shall immediately notify the Engineer to discuss and implement alternatives to comply with the SWPPP and General Permit.

SOIL SURFACE STABILIZATION PRACTICES

After construction begins, soil surface stabilization shall be applied within 14 days to all disturbed areas that may not be at final grade but will remain dormant (undisturbed) for periods longer than 21 calendar days. Within 14 days after final grade is reached on any portion of the site, permanent or temporary soil surface stabilization shall be applied to disturbed areas and soil stockpiles. The following table lists the amount of time various erosion control measures are applicable.

Maximum Time Limits of Land Exposures for Selection of Erosion Controls

Erosion Control Method	Maximum Allowable Period of Exposure (Months)
Surface Roughening	1
Mulching	12
Temporary Revegetation	12 - 24
Permanent Revegetation	24 Or More
Soil Stockpile Revegetation	2
Early Application of Seed Base	1

MAINTENANCE

The Contractor is responsible for maintaining and repairing all temporary erosion control, sediment control, and permanent erosion control measures until the Notice of Termination is filed. General maintenance requirements are listed but are not all inclusive and additional measures may need to be taken to comply with the General Permit and SWPPP.

REMOVAL OF TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES

The Owner/Contractor is responsible to remove all temporary erosion control and sediment control devices when the site reaches final stabilization. The Engineer may order specific temporary erosion control and sediment control devices to remain in place past final stabilization.

SEDIMENT CONTROL MEASURES

INSTALLATION OF SEDIMENT CONTROL MEASURES

The Owner/Contractor shall not begin the removal of surfacing or topsoil until the applicable work area until all applicable sediment control measures are placed. Sediment control measures shall be installed as necessary as construction progresses and these sediment control devices shall be installed within 24 hours at locations identified on the SWPPP.

STREET SWEEPING

Construction Requirements: Street sweeping is required during construction and before final completion of work to keep streets adjacent to and within the project area clean. The minimum equipment to be used for street sweeping shall be a skid loader with a pick up boom attachment or engineer approved equal. No rotary broom without the pick up boom attachment/attachment system will be acceptable to perform this work.

Maintenance: Sweeping shall be performed as needed to remove tracked mud from the roadway. Daily sweeping may be necessary if project conditions warrant.

PERMANENT EROSION CONTROL MEASURES

INSTALLATION OF PERMANENT EROSION CONTROL MEASURES

This work shall be done as soon as possible after final grading and topsoil placement is completed.

TOPSOIL

The following information is to provide an informational guideline to the Owner/Contractor regarding topsoil placement and the SWPPP. Generally, topsoil will be placed over all disturbed areas to a depth of 6 inches. The placement of the topsoil shall be as soon as possible upon completion of the grading operations.

Topsoil will be placed over all disturbed areas to a depth of 6 inches unless otherwise specified by the Engineer. The placement of the topsoil shall be completed within 6 days of final grading. Soil stabilization shall be in accordance with the SWPPP.

SEEDBED PREPARATION

The initial preparation of the newly graded area for seeding shall consist of removing existing grass, vegetation and turf. Do not mix into topsoil. Loosen soil to a depth of at least 6 inches. Remove stones larger than 1" in any dimension, sticks, trash and other extraneous matter. Grade the planting area to a smooth, uniform surface that is loose and uniformly fine textured. Grade to within +/- 0.5' of the finish elevation. Roll and rake, remove ridges, pulverize soil clods to less than 1" and fill depressions to meet finish grades. The Contractor will need prior authorization from the Engineer to commence seeding. Seedbed preparation shall be incidental to the appropriate "Seed Mixture" pay item.

SEED TESTING

Seed shall be tested within 9 months prior to planting, exclusive of the calendar month in which the test was completed. Testing shall be performed in accordance with SD

Standard Specification for Roads and Bridges Section 730.2C. The certified test report shall be furnished to the Engineer prior to the start of the seeding operations.

LABELING

Each bag of seed delivered to the project shall bear a tag which conforms to the SD Standard Specifications for Roads and Bridges Section 730.2D. There will be no payment for seed used without the proper labeling.

SEEDING

Construction Requirements: Seeding and fertilizing shall comply with sections 730 and 731 of the SDDOT Standard Specifications for Roads and Bridges except as noted below. Seasonal limitations have been designated below. If seasonal limitations cannot be met, then an alternate soil stabilization practice must be used. Payment will be made to the Contractor for these alternate practices if caused by the conditions and sequencing of the plans and/or specifications and not the result of the Contractor's negligence.

Seed Mixes:

When to Plant:
Spring: April – June 15
Fall: August – Early September
Dormant: November – Freeze Up

Specifications:
Minimum Purity 97% and Minimum Germination 85%
Maximum Other Crop Content 0.10% and Maximum Weed Content 0.10%
Components and/or percentages of the above blend may vary

Seed Mixture shall consist of the following (SDDOT Type D):

Grass Species	Variety	Pure Live Seed (PLS) (Pounds/Acre)
Kentucky Bluegrass	Avalanche, Appelachian, Wildhorse, Blue Bonnet, Aelon	1.4
Perennial Ryegrass	Turf Type Varieties	1.4
Crested Red Fescue	Erfa Boreal, Chantilly	1.4
Chewings Fescue	Amkrose, K2, Zodiac, Shadow III	1.4
Alkali Grass	Fulle, Fulle II, Quill, Sally	39
Total:		280

FERTILIZING

Fertilizer Type: The Contractor shall apply an all-natural slow release fertilizer prior to seeding or placing soil. The all-natural fertilizer shall have a minimum guaranteed analysis of 4-8-4 and be USDA Certified BioBased. It should provide a minimum of 4% (N) nitrogen with a minimum water insoluble nitrogen (WIN) fraction of 3.2%, a minimum of 6% (P2O5) available phosphate, a minimum of 4% (K2O) soluble potash, and a maximum carbon to nitrogen ratio (C:N ratio) of 6:1. The all-natural fertilizer shall be free of weed-seed and pathogens accomplished through thermophilic composting, and not mechanical or chemical sterilization, to ensure presence of beneficial soil microbiology. The fertilizer shall have a near neutral pH, a low salt index, a low biological oxygen demand, contain organic humic and fulvic acids, and have high aerobic organism counts. The fertilizer shall also be sterile, free of bad odors, and be unattractive as a food source for animals. It should also be in a granular form that is easily spread.

The fertilizer shall be applied at a rate of 1,500 pounds per acre in accordance with the manufacturer's recommended method of application.

The all-natural slow release fertilizer shall be as shown below or an approved equal:

Product	Manufacturer
Sustane	Sustane Corporate Headquarters Cannon Falls, Minnesota Phone: 1-800-352-5245 www.sustane.com



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Gavins Point Recreational Center
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Bid Set
EROSION CONTROL NOTES

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HYDROMULCHING

Bonded Fiber Matrix: Bonded Fiber Matrix (BFM) shall consist of a continuous layer of elongated fiber strands held together by a water restraint bonding agent. It shall be hydraulically applied and conform to the SD Standard Specifications for Road and Bridges Section 732.2C. It shall be dyed an appropriate color to allow visual metering for its application. The material shall be supplied to the project in packages marked by the manufacturer. Appropriate documentation shall be given to the Engineer for prior approval before application. The Bonded Fiber Matrix shall be spray-applied at a rate of 3900 lbs/acre, utilizing standard hydraulic seeding equipment in successive layers as to achieve 100% coverage of all exposed soil. The mix shall consist of 50 pounds bonded fiber matrix to 125 gallons water unless otherwise specified by the Engineer. It shall be installed by a Contractor certified by the manufacturer's recommendations. Bonded fiber matrix shall be placed on a given area as soon as possible or within 48 hours after seeding. The Bonded Fiber Matrix shall not be applied immediately before, during or after rainfall, such that the matrix will have the opportunity to dry for up to 24 hours after installation. It shall be measured to the nearest 0.1 ton of mulch applied. Bonded fiber matrix will be paid for at the contract unit price per ton. Payment will be full compensation for furnishing, hauling, placing and for materials, equipment, labor, tools and incidentals necessary.

The Contractor shall use a bonded fiber matrix from the approved products list, or an approved equal. The approved product list for bonded fiber matrix may be viewed at the following internet site.

<http://sddot.com/business/certification/products/Default.aspx>

Maintenance: Bare spots or locations of erosion should be re-seeded at no additional cost to the Owner.

Section 730 of the SDDOT Standard Specifications for Roads and Bridges contain specifications for hydroseeding and those can be referenced if applicable. (Delete this paragraph prior to plan review)



Site Improvements
Gavins Point Recreational Center
Yankton, South Dakota
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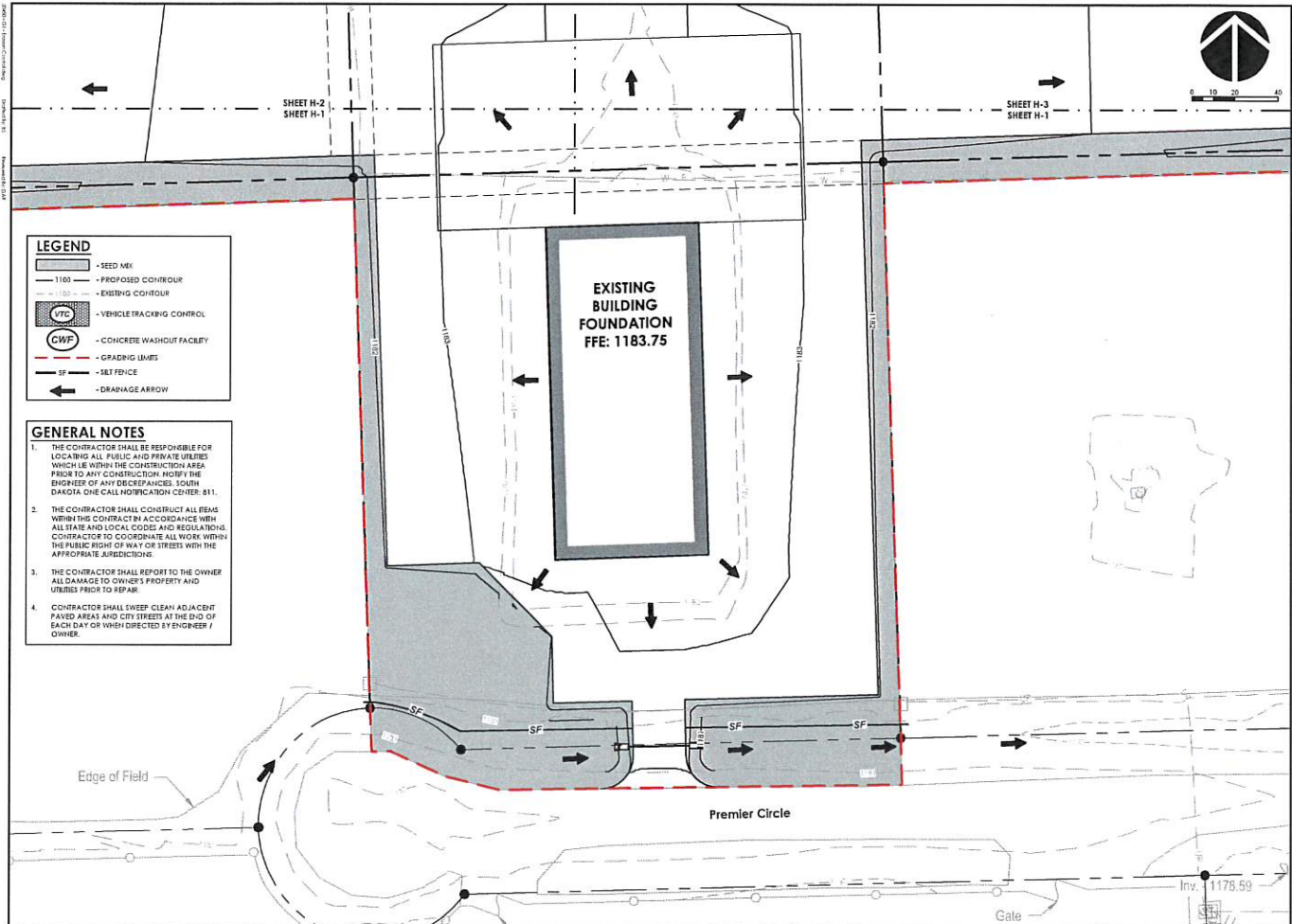


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Bid Set

EROSION
CONTROL NOTES

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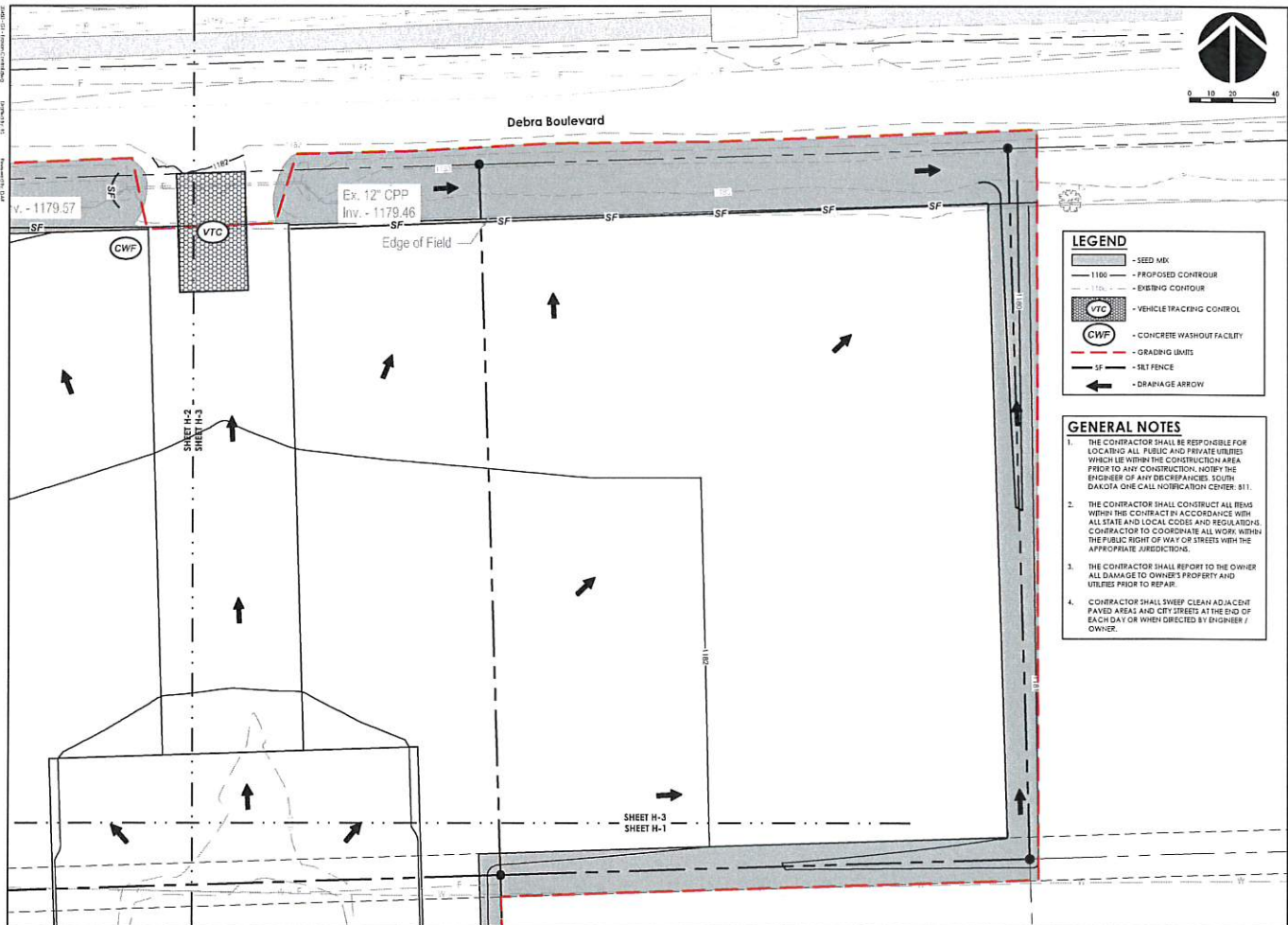
Site Improvements
 Gavin's Point Recreational Center
 Yankton, South Dakota
 CONTRACT # 14-01



Bid Set

Erosion Control

G-4



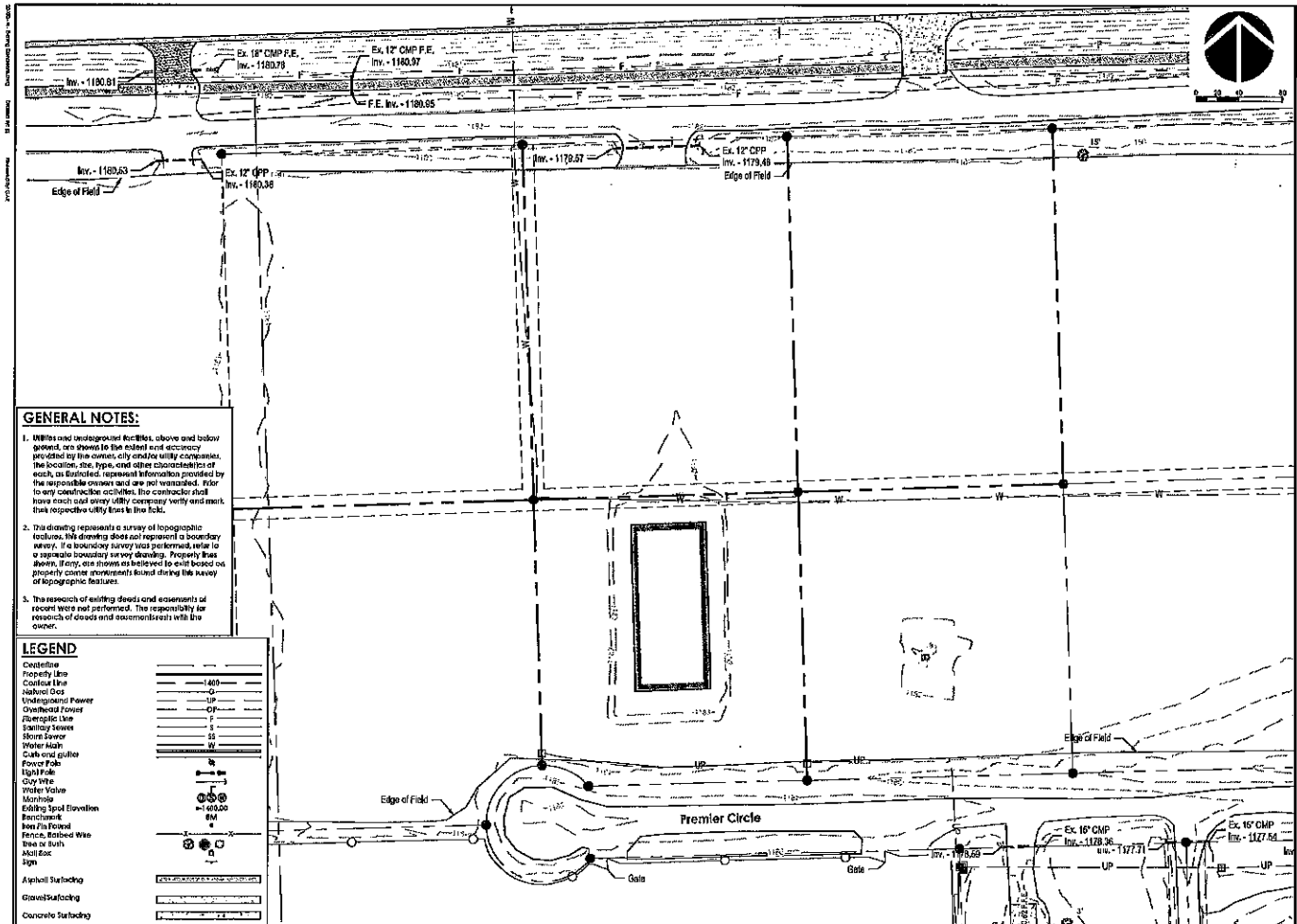
Site Improvements
Gavins Point Recreational Center
Yankton, South Dakota
(PROJECT # 2018-01)



Bid Set

Erosion Control

G-6



GENERAL NOTES:

1. Utilities and underground facilities, above and below ground, are shown to the extent and accuracy provided by the owner, city and/or utility companies. The location, size, type, and other characteristics of each, as indicated, represent information provided by the responsible owner and are not warranted. Prior to any construction activities, the contractor shall have each and every utility company verify and mark their respective utility lines to line scale.
2. This drawing represents a survey of topographic features. No drawing does not represent a boundary survey. If a boundary survey was performed, refer to a separate boundary survey drawing. Property lines shown, if any, are shown as believed to exist based on property owner statements and during the survey of topographic features.
3. The research of existing deeds and easements of record were not performed. The responsibility for research of deeds and easements rests with the owner.

LEGEND

Centerline	1/8" = 1'-00"
Property Line	1/8" = 1'-00"
Centerline	1/8" = 1'-00"
Underground Power	1/8" = 1'-00"
Overhead Power	1/8" = 1'-00"
Plastic Pipe	1/8" = 1'-00"
Sanitary Sewer	1/8" = 1'-00"
Storm Sewer	1/8" = 1'-00"
Water Main	1/8" = 1'-00"
Cable and gutter	1/8" = 1'-00"
Power Pole	1/8" = 1'-00"
Light Pole	1/8" = 1'-00"
Gate	1/8" = 1'-00"
Water Valve	1/8" = 1'-00"
Manhole	1/8" = 1'-00"
Existing Spot Elevation	1/8" = 1'-00"
Benchmark	1/8" = 1'-00"
Iron Pin Found	1/8" = 1'-00"
Fence, Barbed Wire	1/8" = 1'-00"
Tree in Path	1/8" = 1'-00"
Abolish	1/8" = 1'-00"
Sign	1/8" = 1'-00"
Asphalt Surfacing	1/8" = 1'-00"
Gravel Surfacing	1/8" = 1'-00"
Concrete Surfacing	1/8" = 1'-00"



Site Improvements
Gavins Point Recreational Center
 Yankton, South Dakota
 DRAWING NO. 1000



Bld Set

Existing
 Conditions

H-1



SF

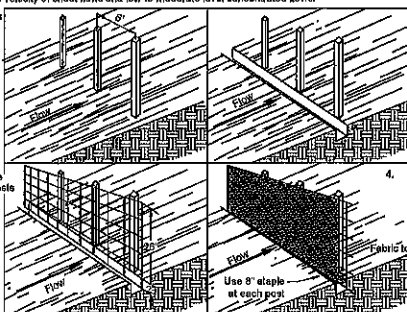
Definition:

A temporary sediment barrier consisting of a filter fabric stretched across and attached to supporting posts and entrenchments. The silt fence is a temporary linear barrier constructed of synthetic filter fabric and supported by wooden or steel posts.

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ed of synthe

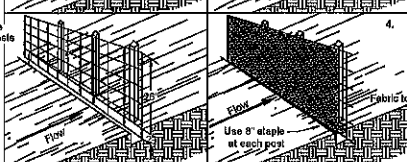
- Purposes:
1. To intercept and detain small amounts of sediment from disturbed areas during construction operations in order to reduce sediment in runoff from leaving the site.
 2. To decrease the velocity of sheet flows and low-to-moderate level concentrated flows.

1. **Set posts**



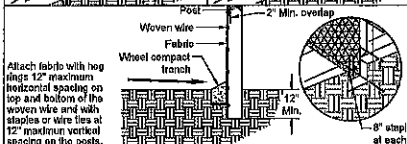
2. Excavate a 4" x 4" trench upslope along the posts.

3. Attach a supporting wire fence to the posts

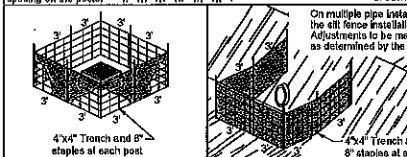


4. Attach fabric, sandwich fabric overlap between posts and wire and extend into trench.
Fabric to be 36" wide

5. **Backfill trench.** If rock type soils are encountered, utilize 30 to 40 lb sandbags butt end to end to prevent underflow.



- Attach fabric with hog rings 12" maximum horizontal spacing on top and bottom of the woven wire and with staples or wire ties at 12" maximum vertical spacing on the posts.



- On multiple pipe installations, the width of the slit fence installation will increase. Adjustments to be made on the construction as determined by the engineer.

Fence material shall conform to geotextile specifications, Section 831 of SDDOT Standard Specifications for Roads and Bridges, latest edition.

Silt Fence { Woven Wire}



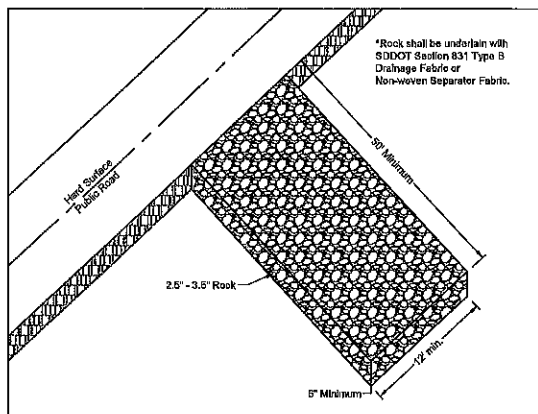
VT

Vehicle Tracking Control

A stone stabilized pad located at points of vehicular ingress and egress on a construction site.

d at points of vehicular ingress and egress

To reduce the amount of mud transported onto public roads by motor vehicles or runoff.



*Rock shall be underlain with
SDDOT Section 831 Type B
Drainage Fabric or
Non-woven Separator Fabric.

2.5"-3.5" Rock —

5th Minimum—

Temporary Vehicle Tracking Control

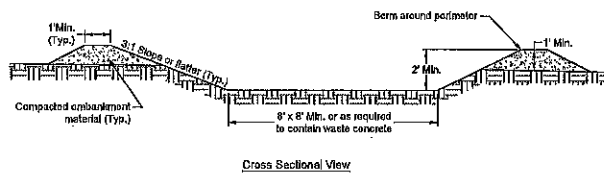
STOCKWELL
STOCKWELL
STOCKWELL

Concrete Washout Facility



Notes:

1. Concrete washout facility shall be installed prior to any concrete placement on site.
2. A sign shall be installed adjacent to each washout facility to inform concrete equipment operators to utilize the CWF.
3. The concrete washout facility shall be repaired and enlarged or cleaned out as necessary to maintain capacity for washed concrete.
4. When CWF are no longer required for the work, the hardened concrete and materials used to construct the CWF shall be removed and disposed of.
5. When the concrete washout facility is removed, the holes, depressions or other ground disturbance shall be backfilled, repaired and stabilized.



Cross Sectional View

Concrete Washout Facility



Site Improvements
Gavins Point Recreational Center
Yankton, South Dakota
STRUCTURE, 2000



Bld Set

Details

N-2

NOTIFICATION

November 28, 2020

Phil Spady Holdings, Inc.
316 Capital Street
Yankton, South Dakota 57078

Dear Yankton County Property Owner:

The Yankton County Zoning Ordinance requires written notification describing a specific action be sent to the owners of real property lying within 1,320 feet of the property on which the below described action is proposed. The notice shall be given to each owner of record by depositing such notice in the United States Post Office not less than 10 days prior to the hearing date. Therefore, you are hereby notified. Please take a moment to review the notice of public hearing described below.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held before the Yankton County Planning Commission, Yankton County, South Dakota, at 7:15 P.M. on the 8th day of November, 2020 at the Yankton County Government Center, Commissioners Chambers, 321 West Third St., Yankton South Dakota.

Said hearing is to consider the following:

Applicant is requesting a Conditional Use Permit for Repair shop in a Lakeside Commercial District (LC) per Article 11 Section 1107 at a camper dealership. Said property is legally described as Lot 7, Thon's Addition located in the SE1/4 of the NW1/4, Section 15 T93N R56W, of the 5th PM, hereinafter referred to as Utica South Township, County of Yankton, State of South Dakota. The E911 address is 3311 Debra Blvd, Yankton, SD.

The application may be reviewed at the Zoning Administrators office, Yankton County Government Center, 321 West Third St., Yankton, S.D. or online at the Yankton County Website.

Sincerely,

Phil Spady Holdings, Inc.
Petitioners

NOTIFICATION

December 26, 2020

Phil Spady Holdings, Inc.
316 Capital Street
Yankton, South Dakota 57078

Dear Yankton County Property Owner:

The Yankton County Zoning Ordinance requires written notification describing a specific action be sent to the owners of real property lying within 1,320 feet of the property on which the below described action is proposed. The notice shall be given to each owner of record by depositing such notice in the United States Post Office not less than 10 days prior to the hearing date. Therefore, you are hereby notified. Please take a moment to review the notice of public hearing described below.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held before the Yankton County Planning Commission, Yankton County, South Dakota, at 7:05 P.M. on the 5th day of January, 2021 at the Yankton County Government Center, Commissioners Chambers, 321 West Third St., Yankton South Dakota.

Said hearing is to consider the following:

Applicant is requesting a Conditional Use Permit for Repair shop in a Lakeside Commercial District (LC) per Article 11 Section 1107 at a camper dealership. Said property is legally described as Lot 7, Thon's Addition located in the SE1/4 of the NW1/4, Section 15 T93N R56W, of the 5th PM, hereinafter referred to as Utica South Township, County of Yankton, State of South Dakota. The E911 address is 3311 Debra Blvd, Yankton, SD.

The application may be reviewed at the Zoning Administrators office, Yankton County Government Center, 321 West Third St., Yankton, S.D. or online at the Yankton County Website.

Sincerely,

Phil Spady Holdings, Inc.
Petitioners

AFFIDAVIT OF MAILING

I, Mariah Nelson, hereby certify that on the 24
day of November, 2020, I mailed by first class mail, postage
prepaid, a true and correct copy of the Notice of Public Hearing
to all owners of real property lying within a 1,320 feet radius
of the proposed project to the most recent address of the
recipient known to your Affiant.

A true and correct copy of the Notice of Public Hearing
notification letters are attached as Exhibit #1 or #2.

A true and correct copy of the mailing list for owners of real
property is attached as Exhibit #1A or #2A.

Dated the 24 day of November, 2020.

Mariah Nelson

(Name)

Affiant

Subscribed and sworn to before me this 24 day of
November, 2020.

Corinne Huchtmeier
Notary Public - South Dakota

My commission expires: 5/9/2023

(SEAL)



AFFIDAVIT OF MAILING

I, Mariah Nelson, hereby certify that on the 16
day of December, 2020, I mailed by first class mail, postage
prepaid, a true and correct copy of the Notice of Public Hearing
to all owners of real property lying within a 1,320 feet radius
of the proposed project to the most recent address of the
recipient known to your Affiant.

A true and correct copy of the Notice of Public Hearing
notification letters are attached as Exhibit #1 or #2.

A true and correct copy of the mailing list for owners of real
property is attached as Exhibit #1A or #2A.

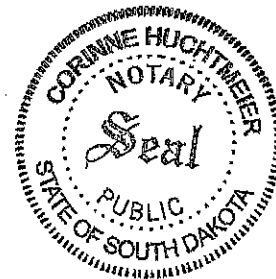
Dated the 16 day of December, 2020.

Mariah Nelson
(Name)
Affiant

Subscribed and sworn to before me this 16 day of
December, 2020.

Corinne Huchtmeier
Notary Public - South Dakota
My commission expires: 5/29/2023

(SEAL)



NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held before the Yankton County Planning Commission, Yankton County, South Dakota, at 7:05 P.M. on the 8th day of December, 2020 at the Yankton County Government Center, Commissioners Chambers, 321 West Third St., Yankton, South Dakota. Applicant is requesting a Variance for a plat in a Rural Transitional District from 20 acres to 2.385 acres. Said property is legally described as proposed Plat of Tract 4A, DJ's Addition, Being Accretion Property Lying South of Tract 4, DJ's Addition, in Section 16, T93N, R55W, of the 5th PM, hereinafter referred to as Mission Hill Township, Yankton County, South Dakota. The E911 address is TBD Eastside Drive, Yankton, SD.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held before the Yankton County Planning Commission, Yankton County, South Dakota, at 7:10 P.M. on the 8th day of December, 2020 at the Yankton County Government Center, Commissioners Chambers, 321 West Third St., Yankton, South Dakota. Applicant is requesting a Conditional Use Permit for Repair shop in a Lakeside Commercial District (LC) per Article 11 Section 1107 at a camper dealership. Said property is legally described as Lot 7, Thon's Addition located in the SE1/4 of the NW1/4, Section 15, T93N, R56W, of the 5th PM, hereinafter referred to as Utica South Township, County of Yankton, State of South Dakota. The E911 address is 3311 Debra Blvd, Yankton, SD.

NOTICE OF PUBLIC HEARING

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NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held before the Yankton County Commission, Yankton County, South Dakota, at 7:00 P.M. on the 5th day of January, 2021 at the Yankton County Government Center, Commissioners Chambers, 321 West Third St., Yankton, South Dakota. Applicant is requesting a Variance for a plat in a Rural Transitional District from 20 acres to 2.385 acres. Said property is legally described as proposed Plat of Tract 4A, DJ's Addition, Being Accretion Property Lying South of Tract 4, DJ's Addition, in Section 16, T93N, R55W, of the 5th PM, hereinafter referred to Mission Hill Township, Yankton County, South Dakota. The E911 address is TBD Eastside Drive, Yankton, SD.

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ASPS LLC (D)
3609 WEST 8 ST
YANKTON SD 57078

BARKL, CHRIS (D)
3009 WEST 8 ST
YANKTON SD 57078

BINDER, TIMOTHY (D)
169 CLARK TRL
YANKTON SD 57078

BLOM, COLE S (D)
517 LOCUST ST
YANKTON SD 57078

BOB LAW INC (D)
3812 SD HWY 314
YANKTON SD 57078

CATON, REBECCA (D)
105 WAYNE ST
YANKTON SD 57078

DAHLIN DRYWALL INC (D)
3703 WEST 7 ST
YANKTON SD 57078

EBBENS, DANIEL W (D)
3111 WEST 8 ST
YANKTON SD 57078

FEIMER, MICHAEL P (D)
1004 MAY LN
YANKTON SD 57078

G & W PROPERTIES (D)
% SCOTT STEVENS
PO BOX 2047
NORFOLK NE 68702

HEINE FARMS (D)
PO BOX 477
YANKTON SD 57078

INHOFFER, RICK (D)
3306 WEST 8 ST
YANKTON SD 57078

LACROIX, MARLIN (D)
1303 WEST 19 ST #4
YANKTON SD 57078

LANGE FAMILY PROTECTION TRUST (D)
118 LAKE SHORE DR
UTICA SD 57067

LARSON, BARRETT P TRUST (D)
2900 WEST 11 ST
YANKTON SD 57078

LASER BARN LLC (D)
3700 WEST 8 ST
YANKTON SD 57078

LEADER, LARRY F (D)
43459 KAISER RD
YANKTON SD 57078

LEFEBVERE, JACOB W (D)
308 EAST 21 ST
YANKTON SD 57078

LUKEN CONSTRUCTION LLC (D)
605 DOUGLAS AVE
YANKTON SD 57078

MACY FAMILY TRUST (D)
3701 WEST 11 ST
YANKTON SD 57078

MCHENRY, CRYSTAL (D)
600 DEER BLVD
YANKTON SD 57078

MILLER, DONALD D (D)
3609 WEST 7 ST
YANKTON SD 57078

MUELLER, MARY C (D)
3204 WEST 8 ST
YANKTON SD 57078

MUELLER, STEVEN (D)
3204 WEST 8 ST
YANKTON SD 57078

PHIL SPADY CHRYSLER-JEEP-DODGE (I
316 CAPITOL ST
YANKTON SD 57078

PREMIER VENTURES LLC (D)
1010 MAY LN
YANKTON SD 57078

REZAC FAMILY REVOCABLE TRUST (D)
30776 435 AVE
YANKTON SD 57078

RYKEN LEGACY LAND TRUST (D)
%RUSSELL RYKEN
19597 EAST 70 ST N
OWASSO OK 74055

SCS PROPERTY MANAGEMENT CORP (I
3702 LEADER LN
YANKTON SD 57078

SD DEPT OF TRANSPORTATION (D)
700 E BROADWAY AVE
PIERRE SD 57501

SIMONSEN, THOMAS L (D)
%MC STORAGE
3702 LEADER LN
YANKTON SD 57078

SIMONSEN, THOMAS L (D)
3702 LEADER LN
YANKTON SD 57078

SPRINGWATER LLC (D)
263 KNIEST AVE
YANKTON SD 57078

STEVENS, SCOTT D (D)
PO BOX 2047
NORFOLK NE 68702

TERESHINSKI FAMILY TRUST (D)
1005 JUNE LN
YANKTON SD 57078

WOERNER, BRADLEY S (D)
1407 ST BENEDICT DR
YANKTON SD 57078

YANKTON STORAGE LLC (D)
1303 WEST 19 ST #4
YANKTON SD 57078

Yankton County Planning Commission
Yankton County Board of Adjustment

Applicant

Stephanie and Brian Wieman – Rezone

District type: ☐ AG ☐ R1-Low ☒ R2-Moderate ☐ R3-High ☐ C-Comm.

☒ LC – Lakeside Commercial ☐ RT-Rural Transitional

☐ Section 513 ☐ Section 607 ☐ Section 705 ☐ Section 1709 ☐ Section 1723

☒ Section 1809

NOTE:

Applicant is requesting to rezone a Moderate Density Rural Residential District (R2) and Lakeside Commercial District (LC) to a Moderate Density Rural Residential District (R2).

PC: Article 18 Section 1809

BOA: Article 18 Section 1809

Planning Commission date:

09-08-20

Time:

7:15 PM

Board of Adjustment date:

10-06-20 and 10-20-20

Time:

7:15 PM and 7:05 PM

Yankton County

Variance

 Conditional Use

X Rezoning

Owner: Brian and Stephanie Wieman

Owners Address: 119 Marina Bluffs Road

Owners Phone: (605)660-0985

Applicants Name,
if different from

Owner: Brian and Stephanie Wieman

Applicants

Address: 119 Marina Bluffs Road

Job Address: 119 MARINA BLUFFS RD

Legal: LOT 3 LEONA'S 2ND ADDN NW4

Section,
Township, Range: 17-93-56

Zoning
Classification: LC

Affected Zoning

Ordinance:

Reason for Residential Home

Request:

List Specific Hardships: This is our primary residence, and it is zoned commercial. We would like to rezone according to it's current use.

SCHEDULED FOR PLANNING COMMISSION ACTION (DATE):

SCHEDULED FOR BOARD OF ADJUSTMENT ACTION (DATE):

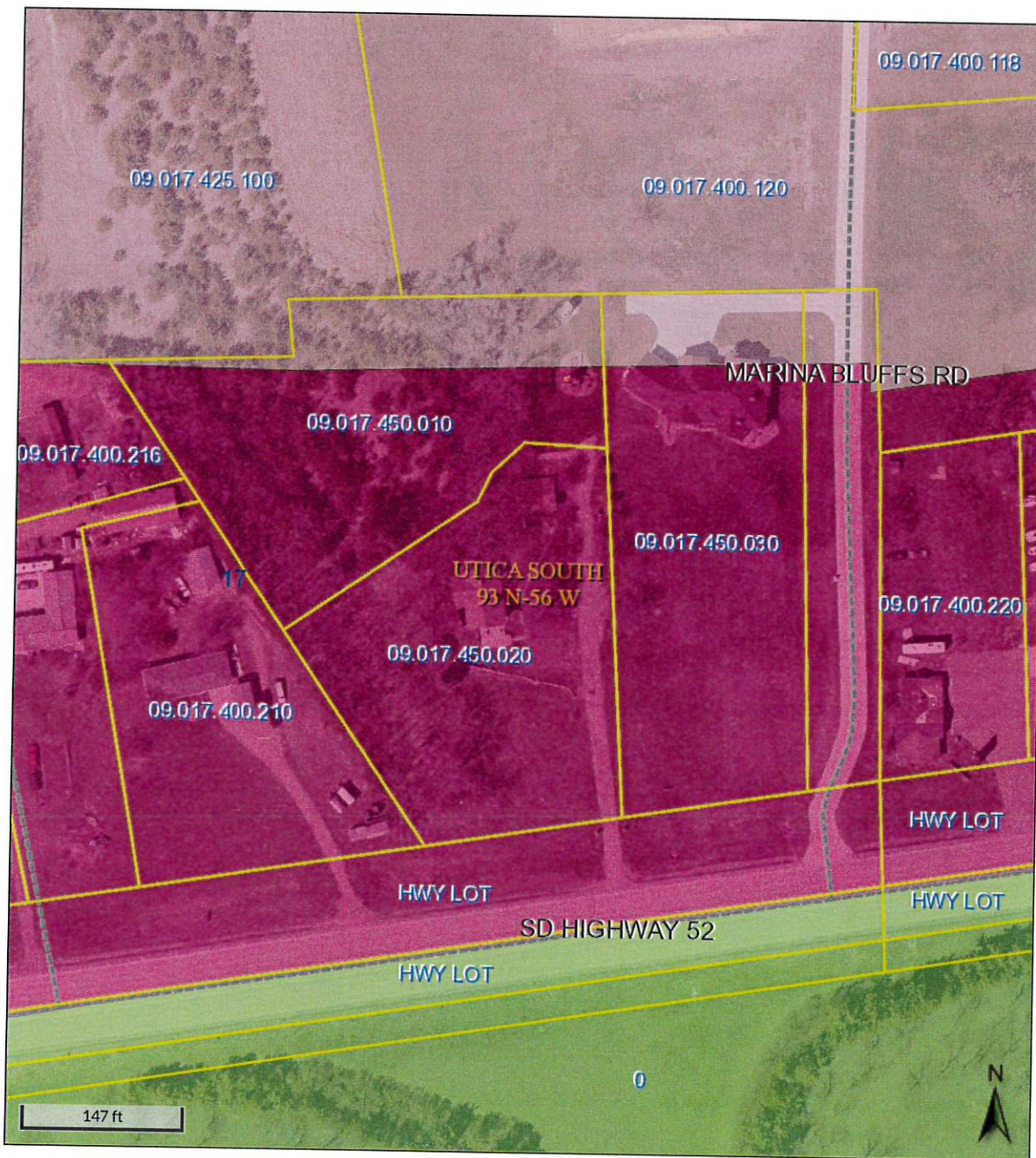
Application Fee: \$450.00 Check #: 4935 Receipt #: 5348

Date:

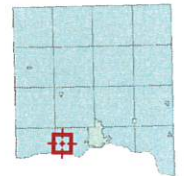
11/16/2020

Signature:

Brian and Stephanie Wieman



Overview



Legend

-  Townships
-  Parcels
-  City Limits
-  Streets and Roads
- County Zoning District**
-  <all other values>
-  COMMERCIAL
-  ETJ
-  HIGH DENSITY RESIDENTIAL
-  LAKE SIDE COMMERCIAL
-  LOW DENSITY RESIDENTIAL
-  MODERATE DENSITY RESIDENTIAL
-  PLANNED UNIT DEVELOPMENT
-  PUBLIC
-  RURAL TRANSITIONAL
- Floodplain**
-  100 YEAR FLOOD NO BFE; 100 YEAR FLOOD WITH BFE
-  500 YEAR FLOOD

Disclaimer: Yankton County digital cadastral data are a representation of recorded plats and surveys for use within the Geographic Information System for purposes of data access and analysis. These and other digital data do not replace or modify land surveys, deeds, and/or other legal instruments defining land ownership or use.

Date created: 11/24/2020

Last Data Uploaded: 11/24/2020 8:32:23 AM

Developed by  **Schneider**
GEOSPATIAL

FINDINGS OF FACT – REZONE

Brian and Stephanie Wieman – REZ-2020-28 and Ordinance 20-29

Are the requirements of Section 1723 met?	Yes
Are the requirements of Section 1729 met? (all fees paid at time of application)	Yes
Section 1809:	
1. All documents required for application for said request have been satisfactorily completed and all required fees have been paid in full.	Yes
2. The individual petitioner provides a completed amendment or change in zone request. Said request must clearly state: <ul style="list-style-type: none"> a. Special conditions and circumstances exist which require the land to be rezoned; b. The special conditions and circumstances do not result from the actions of the applicant; and c. The granting of the amendment or change in zoning will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structure, or buildings in the area. 	Currently a dual zoned property of Lakeside Commercial District LC and R2 Moderate Density. Surrounded by LC and R2, but use is Residential
3. Notice of public hearing shall be given, as in Section 1803 (3-5).	Yes
4. The public hearing shall be held. Any party may appear in person or by agent or attorney.	Yes
5. The Planning Commission shall make findings that the requirements of this Section have been met by the applicant for an amendment or change in zone, to include: <ul style="list-style-type: none"> a. The reasons set forth in the application justify a recommendation to approve the amendment or change in zone; 	Rezone is justified
<ul style="list-style-type: none"> b. The amendment or change in zone will make possible the reasonable use of the land, building, or structure; 	Has two lots, 1A at 1.74 acres and 3 at 1.79 acres which rezoning would be more compliant to use
<ul style="list-style-type: none"> c. A recommendation to grant the amendment or change in zone will be in harmony with the general purpose and intent of this ordinance; and 	Yes
<ul style="list-style-type: none"> d. A recommendation of approval will not be injurious to the neighborhood, or otherwise detrimental to the public 	Will not be injurious

welfare as presented and testified to by the applicant.	
6. No petition for amendment or change in zone shall be recommended for approval unless the Planning Commission finds that the condition, situation or the intended use of the property concerned is unique, required, or necessary as to make reasonably practicable the amendment or change in zone.	It is necessary in order for applicant to be in compliance of use
7. Before any amendment or petition for rezoning is recommended for approval, the Planning Commission shall make written findings certifying compliance with: <ul style="list-style-type: none"> a. The Comprehensive Plan; b. Specific rules governing land uses; c. Zoning district regulations; and d. Satisfactory provision and arrangement has been made concerning the following, where applicable: 	
<ul style="list-style-type: none"> 1. Certification of compliance with all ordinances and regulations regarding licensing and zoning, health, plumbing, electrical, building, fire prevention, and all other applicable ordinances and regulations; 2. Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe; 3. Off right-of-way parking and loading areas where required; with particular attention to the items in (A) above and the economic, noise, glare or odor effects of the amendment or rezone on adjoining properties and properties generally in the district; 4. Refuse and service areas, with particular reference to the items in (A) and (B) above; 5. Utilities, with reference to locations, availability, and compatibility; 6. Screening and buffering with reference to type, dimensions, and character; 7. Signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effect and compatibility and harmony with properties in the 	<p>Existing home of one of the lots</p> <p>Ingress egress already exist</p> <p>Parking exists</p> <p>Refuse and service areas present</p> <p>Utilities present</p> <p>No additional screening and buffering required</p> <p>No signs planned except for possibly one on the fence at entrance to property</p> <p>Has required yards</p>

<p>district;</p> <p>8. Required yards and other open spaces; and</p> <p>9. General compatibility with adjacent properties and other property in the district.</p>	<p>Generally compatible with surrounding properties, other residences are in the area</p>
<p>8. In recommending approval of any petition for amendment or change in zone, the Planning Commission may prescribe appropriate conditions and safeguards in conformity with this ordinance.</p>	<p>Motion to approve rezone from Lakeside Commercial and Moderate Density to Moderate Density Residential</p>

NOTIFICATION

November 28, 2020

Brian and Stephanie Wieman
119 Marina Bluffs Rd
Yankton, SD 57078

Dear Yankton County Property Owner:

The Yankton County Zoning Ordinance requires written notification describing a specific action be sent to the owners of real property lying within 1,320 feet of the property on which the below described action is proposed. The notice shall be given to each owner of record by depositing such notice in the United States Post Office not less than 10 days prior to the hearing date. Therefore, you are hereby notified. Please take a moment to review the notice of public hearing described below.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held before the Yankton County Planning Commission, Yankton County, South Dakota, at 7:20 P.M. on the 8th day of December, 2020, at the Yankton County Government Center, Commissioners Chambers, 321 West Third St., Yankton South Dakota.

Said hearing is to consider the following:

Applicant is requesting to Rezone property in a dual zone of Lakeside Commercial District (LC) and Moderate Density Rural Residential District (R2) to Moderate Density Rural Residential District (R2). Said property is legally described as Lot 1A and Lot 3 of Leona's 2nd Addition in the NW1/4 of Section 17, T93N, R56W, of the 5th PM, hereinafter referred to as Utica South Township, Yankton County, South Dakota. The E911 address is 119 Marina Bluffs Rd, Yankton, SD 57078.

The application may be reviewed at the Zoning Administrators office, Yankton County Government Center, 321 West Third St., Yankton, S.D. or online at the Yankton County Website.

Sincerely,

Brian and Stephanie Wieman
Petitioner

NOTIFICATION

December 26, 2020

Brian and Stephanie Wieman
119 Marina Bluffs Rd
Yankton, SD 57078

Dear Yankton County Property Owner:

The Yankton County Zoning Ordinance requires written notification describing a specific action be sent to the owners of real property lying within 1,320 feet of the property on which the below described action is proposed. The notice shall be given to each owner of record by depositing such notice in the United States Post Office not less than 10 days prior to the hearing date. Therefore, you are hereby notified. Please take a moment to review the notice of public hearing described below.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held before the Yankton County Commission, Yankton County, South Dakota, at 7:10 P.M. on the 5th day of January, 2021, and 19th day of January, 2021 at the Yankton County Government Center, Commissioners Chambers, 321 West Third St., Yankton South Dakota.

Said hearing is to consider the following:

Applicant is requesting to Rezone property in a dual zone of Lakeside Commercial District (LC) and Moderate Density Rural Residential District (R2) to Moderate Density Rural Residential District (R2). Said property is legally described as Lot 1A and Lot 3 of Leona's 2nd Addition in the NW1/4 of Section 17, T93N, R56W, of the 5th PM, hereinafter referred to as Utica South Township, Yankton County, South Dakota. The E911 address is 119 Marina Bluffs Rd, Yankton, SD 57078.

The application may be reviewed at the Zoning Administrators office, Yankton County Government Center, 321 West Third St., Yankton, S.D. or online at the Yankton County Website.

Sincerely,

Brian and Stephanie Wieman
Petitioner

AFFIDAVIT OF MAILING

I, Stephanie Wieman, hereby certify that on the 30th day of November, 2020, I mailed by first class mail, postage prepaid, a true and correct copy of the Notice of Public Hearing to all owners of real property lying within a 1,320 feet radius of the proposed project to the most recent address of the recipient known to your Affiant.

A true and correct copy of the Notice of Public Hearing notification letters are attached as Exhibit #1 or #2.

A true and correct copy of the mailing list for owners of real property is attached as Exhibit #1A or #2A.

Dated the 30th day of November, 2020.

Stephanie M. Wieman
(Name)
Affiant

Subscribed and sworn to before me this 30 day of November, 2020.



Angie Saylor
Notary Public - South Dakota
My commission expires: 01/31/2025

AFFIDAVIT OF MAILING

I, Stephanie Wieman, hereby certify that on the 26th day of December, 20 20, I mailed by first class mail, postage prepaid, a true and correct copy of the Notice of Public Hearing to all owners of real property lying within a 1,320 feet radius of the proposed project to the most recent address of the recipient known to your Affiant.

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A true and correct copy of the mailing list for owners of real property is attached as Exhibit #1A or #2A.

Dated the 26th day of December, 20 20.

Stephanie Wieman
(Name)

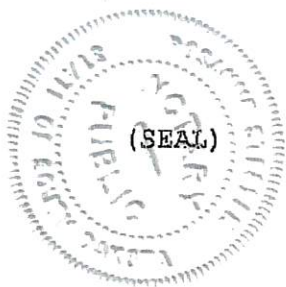
Affiant

Subscribed and sworn to before me this 26th day of December, 20 20.

Rosanne Giff

Notary Public - South Dakota

My commission expires: 10-25-2024



KLENTZ, SETH M (D)
310 W N MAPLE ST
BERESFORD SD 57004

KORTAN, DARRELL (D)
6101 WEST QUEENS CIR
SIOUX FALLS SD 57106

KRAUSE-SWIFT, ANNE (D)
142 KATHERINE WAY
YANKTON SD 57078

KRAUSE-SWIFT, ANNE L (D)
142 KATHERINE WAY
YANKTON SD 57078

MARINA BLUFFS HOMEOWNERS ASSOC
101 MARINA BLUFFS CRT #7
YANKTON SD 57078

MARINA DELL ESTATES ROAD DISTR (D)
142 KATHERINE WAY
YANKTON SD 57078

MERTENS REAL ESTATE LLC (D)
127 CRESTVIEW DR
YANKTON SD 57078

OLIVIER, CURTIS (D)
184 OAK HILLS DR
YANKTON SD 57078

ORTNER, STEVEN L (D)
5045 330 ST
DANBURY IA 51019

PERSINGER, JOHN PAUL REV TRUST (D)
520 E PINEHURST TRL
DAKOTA DUNES SD 57049

PERSINGER, JOHN T LIVING TRUST (D)
PO BOX 1000
YANKTON SD 57078

POESCHL, JEROME A REV LIV TRST (D)
213 KATHERINE WAY
YANKTON SD 57078

RABINE, BETH A (D)
606 DAVIS MOUNTAIN CIR
GEORGETOWN TX 78633

RYAN, JAMES A (D)
304 MARINA DELL AVE
YANKTON SD 57078

SCHULZE FAMILY REVOCABLE TRUST (C
964 PEBBLE BEACH DR
DAKOTA DUNES SD 57049

SHIPWRECK INC (D)
115 STARBOARD ST
YANKTON SD 57078

SWANSON, TANNER (D)
191 KATHERINE WAY
YANKTON SD 57078

SWIFT, DON D II (D)
142 KATHERINE WAY
YANKTON SD 57078

SWIFT, DON DERROY II (D)
142 KATHERINE WAY
YANKTON SD 57078

TAYLOR, RANDY (D)
2619 310 ST
ROCK VALLEY IA 51247

UHING, ROBERT H (D)
103 MARINA BLUFFS CT #2E
YANKTON SD 57078

VAN NIEUWENHUYZEN, DAVID (D)
7109 S HONORS DR
SIOUX FALLS SD 57108

VELTKAMP, DON (D)
325 MARINA DELL AVE
YANKTON SD 57078

VILLA NORTH LLC (D)
490 FIRETHORN TRL
DAKOTA DUNES SD 57049

VOGT, CLARENCE M (D)
112 EAST ST
YANKTON SD 57078

WAHL, JEFF REV TRUST (D)
PO BOX 754
YANKTON SD 57078

WESTGARD, GARY A (D)
101 MARINA BLUFFS CT #5
YANKTON SD 57078

WHITE CRANE ESTATES LLC (D)
PO BOX 805
LAUREL NE 68745

WIEMAN, BRIAN (D)
119 MARINA BLUFFS RD
YANKTON SD 57078

WIEMAN, BRIAN A (D)
119 MARINA BLUFFS RD
YANKTON SD 57078

BERKE, ROBIN R (D)
103 MARINA BLUFFS CT #2B
YANKTON SD 57078

BLOM, COLE S (D)
517 LOCUST ST
YANKTON SD 57078

BLOM, GARY (D)
115 PIKE ST
YANKTON SD 57078

BOB LAW INC (D)
3812 SD HWY 314
YANKTON SD 57078

BURNS, DAVID (D)
101 MARINA BLUFFS CT #2
YANKTON SD 57078

CHRISTENSEN, LISA J TRUST (D)
224 NORTH HWY 20
PO BOX 805
LAUREL NE 68745

DAYHUFF, JEFFREY W (D)
113 EAST 3 ST
YANKTON SD 57078

DEERFIELD TRUCK & EQUIPMENT CO (D)
PO BOX 805
LAUREL NE 68745

DORCEY, SUZANNE M REV TRUST (D)
118 SCENIC DR
YANKTON SD 57078

EAST RIVER ELECTRIC POWER (D)
PO BOX 227
MADISON SD 57042

EHLERS, MARVIN D REVOC TRUST (D)
31129 435 AVE
YANKTON SD 57078

EICHFELD, AMY M (D)
31102 435 AVE
YANKTON SD 57078

EVANS, MATTHEW L (D)
31120 435 AVE
YANKTON SD 57078

EXECUTIVE PARK MODEL EST LLC (D)
3703 WEST 7 ST
YANKTON SD 57078

FOLKEN, CHARLES L (D)
379 ROAD R
LEIGH NE 68643

FRAUENDORFER, MICHAEL A (D)
31118 435 AVE
YANKTON SD 57078

FULLENKAMP, ROBERT J (D)
221 RED CEDAR DR
YANKTON SD 57078

GB TRUST (D)
101 MARINA BLUFFS CT #1
YANKTON SD 57078

GOLDEN, RANDY (D)
110 PRIMROSE LN
YANKTON SD 57078

GOLDEN, RANDY S (D)
110 PRIMROSE LN
YANKTON SD 57078

GRAIN BELT LLC (D)
PO BOX 805
LAUREL NE 68745

GRECKEL, HARLAN H (D)
PO BOX 708
YANKTON SD 57078

HIXSON, LARRY REV TRUST (D)
101 MARINA BLUFFS CT #4
YANKTON SD 57078

HUITINK, JUDITH ANN (D)
467 N ROYAL TROON
DAKOTA DUNES SD 57049

HUNT, MICHAEL B REV LIV TRUST (D)
966 QUAIL HOLLOW CIR
DAKOTA DUNES SD 57049

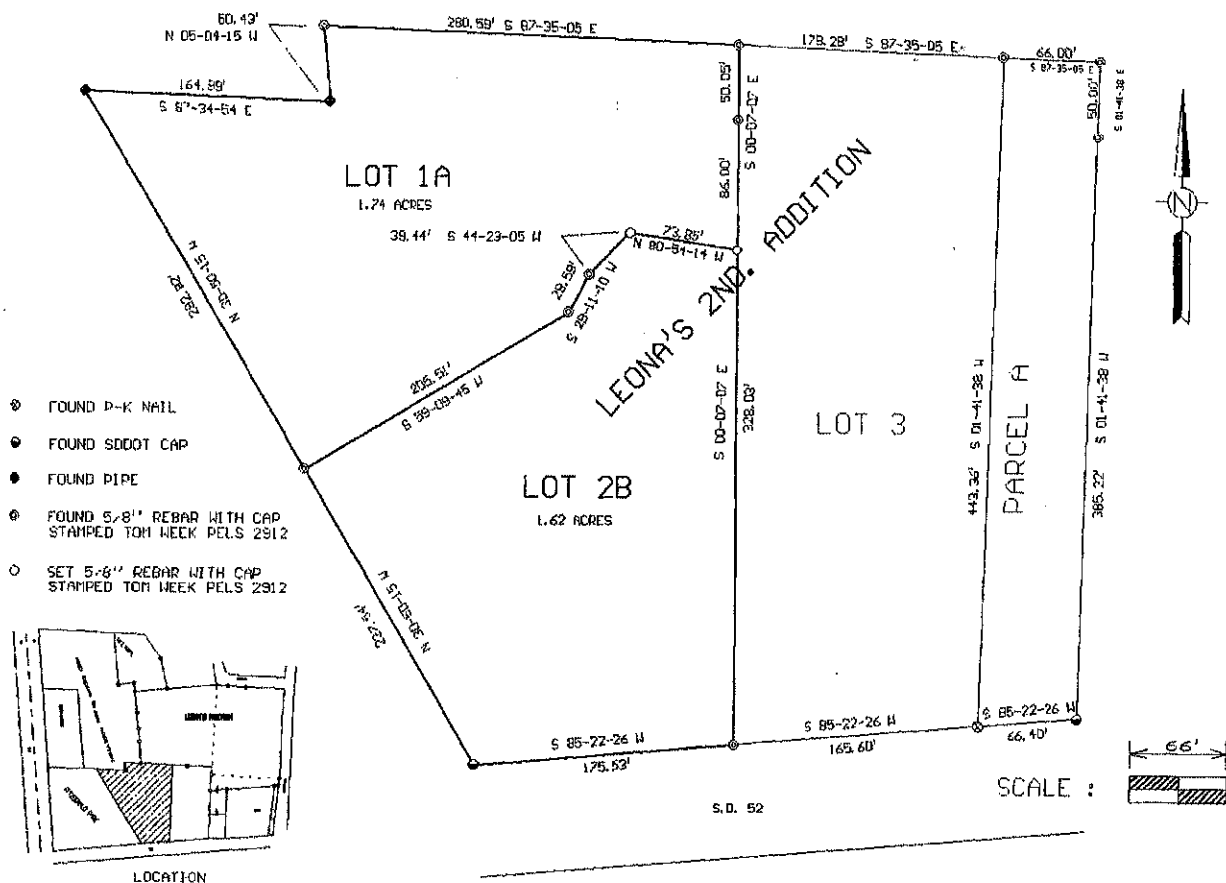
HUTCHINSON, BROCK (D)
544 E PINEHURST
DAKOTA DUNES SD 57049

JOHNSON, J KELLY (D)
105 MARINA BLUFFS CT #3F
YANKTON SD 57078

KABEISEMAN, KATHERINE M (D)
%KABEISEMAN, WILLIAM
1210 DOUGLAS AVE
YANKTON SD 57078

KABEISEMAN, WILLIAM J & ROSE E (D)
1210 DOUGLAS AVE
YANKTON SD 57078

KABEISEMAN, WILLIAM J (D)
1210 DOUGLAS AVE
YANKTON SD 57078



SURVEYORS CERTIFICATE

I, THOMAS LYNN WEEK, REGISTERED LAND SURVEYOR IN YANKTON, SOUTH DAKOTA, HAVE AT THE DIRECTION OF THE OWNER, MADE A SURVEY OF LOT 1A AND LOT 2B, BEING A REPLAT OF LOT 1 AND LOT 2 OF LEONA'S 2ND. ADDITION, IN THE N.W.1/4 OF SECTION 17, T93N, R56W, OF THE 5TH. P.M., YANKTON COUNTY, SOUTH DAKOTA. I HAVE SET IRON PINS AS SHOWN, AND SAID SURVEY AND PLAT ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATED THIS 27TH. DAY OF MAY, 2014.

Thomas Lynn Week
THOMAS LYNN WEEK
REGISTERED LAND SURVEYOR
REG. NO. 2912

OWNERS CERTIFICATE

I, JOHN R. KABEISEMAN, JR., AS TRUSTEE OF THE LEONA M. KABEISEMAN REVOCABLE TRUST DATED DECEMBER 8, 2010, DO HEREBY CERTIFY THAT THE LEONA M. KABEISEMAN REVOCABLE TRUST DATED DECEMBER 8, 2010, IS THE ABSOLUTE AND UNQUALIFIED OWNER OF THE ABOVE DESCRIBED PROPERTY: LOT 1A AND LOT 2B, BEING A REPLAT OF LOT 1 AND LOT 2 OF LEONA'S 2ND. ADDITION, IN THE N.W.1/4 OF SECTION 17, T93N, R56W, OF THE 5TH. P.M., YANKTON COUNTY, SOUTH DAKOTA. THAT THE ABOVE SURVEY AND PLAT WAS MADE AT MY REQUEST AND UNDER MY DIRECTION FOR THE PURPOSE OF LOCATING, MARKING AND PLATTING THE SAME, AND THAT SAID PROPERTY IS FREE FROM ALL ENCUMBRANCES. THE DEVELOPMENT OF THIS LAND SHALL CONFORM TO ALL EXISTING APPLICABLE ZONING SUBDIVISION AND EROSION AND SEDIMENT CONTROL REGULATIONS.

DATED THIS 30th DAY OF June, 2014.

John R. Kabeiseman, Jr.
JOHN R. KABEISEMAN, JR., AS TRUSTEE
OF THE LEONA M. KABEISEMAN REVOCABLE
TRUST DATED DECEMBER 8, 2010.

STATE OF SOUTH DAKOTA
COUNTY OF YANKTON

ON THIS 30th DAY OF June, 2014, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED JOHN R. KABEISEMAN, JR. KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE WITHIN INSTRUMENT AND WHO ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES THEREIN CONTAINED.

MY COMMISSION EXPIRES 03-13-2014,

[Signature]
NOTARY PUBLIC

RESOLUTION OF COUNTY PLANNING COMMISSION

BE IT RESOLVED BY THE YANKTON COUNTY PLANNING COMMISSION, THAT THE ABOVE PLAT REPRESENTING LOT 1A AND LOT 2B, BEING A REPLAT OF LOT 1 AND LOT 2 OF LEONA'S 2ND. ADDITION, IN THE N.W.1/4 OF SECTION 17, T93N, R56W, OF THE 5TH. P.M., YANKTON COUNTY, SOUTH DAKOTA, BE AND THE SAME IS HEREBY APPROVED.

[Signature]
CHAIRMAN, PLANNING COMMISSION

RESOLUTION OF APPROVAL

WHEREAS, IT APPEARS THAT THE OWNER THEREOF HAS CAUSED A PLAT TO BE MADE OF THE FOLLOWING REAL PROPERTY: LOT 1A AND LOT 2B, BEING A REPLAT OF LOT 1 AND LOT 2 OF LEONA'S 2ND. ADDITION, IN THE N.W.1/4 OF SECTION 17, T93N, R56W, OF THE 5TH. P.M., YANKTON COUNTY, SOUTH DAKOTA, AND HAS SUBMITTED SUCH PLAT TO THE COUNTY COMMISSION OF YANKTON COUNTY, SOUTH DAKOTA FOR APPROVAL. NOW THEREFORE BE IT RESOLVED, THAT SUCH PLAT HAS BEEN EXECUTED ACCORDING TO THE LAW AND SAME IS HEREBY APPROVED. THE COUNTY AUDITOR IS HEREBY AUTHORIZED AND DIRECTED TO ENDORSE ON SUCH PLAT A COPY OF THIS RESOLUTION AND CERTIFY THE SAME.

1. Ratta Hojem COUNTY AUDITOR OF YANKTON COUNTY, SOUTH DAKOTA, DO HEREBY CERTIFY THAT THE WITHIN AND FOREGOING IS A TRUE COPY OF THE RESOLUTION PASSED BY THE BOARD OF COUNTY COMMISSIONERS OF YANKTON COUNTY, SOUTH DAKOTA, ON THIS 15 DAY OF July, 2014.

[Signature]
COUNTY AUDITOR

[Signature]
CHAIRMAN OF THE BOARD OF COUNTY COMMISSIONERS

DIRECTOR OF EQUALIZATION CERTIFICATE

1. Lori Mackey, DIRECTOR OF EQUALIZATION, YANKTON COUNTY, SOUTH DAKOTA, CERTIFY THAT I HAVE RECEIVED A COPY OF THE FOREGOING PLAT. DATED THIS 9 DAY OF July, 2014.

[Signature]
DIRECTOR OF EQUALIZATION, YANKTON COUNTY

TREASURER CERTIFICATE

1. [Signature] TREASURER OF YANKTON COUNTY, SOUTH DAKOTA, CERTIFY THAT ALL TAXES WHICH ARE LIEN UPON ANY LAND INCLUDED IN THE ABOVE PLAT, AS SHOWN BY THE RECORDS OF THIS OFFICE, HAVE BEEN PAID. DATED THIS 10 DAY OF July, 2014.

[Signature]
TREASURER, YANKTON COUNTY

REGISTER OF DEEDS CERTIFICATE

1. Brian Hunhoff, REGISTER OF DEEDS, YANKTON COUNTY, SOUTH DAKOTA, CERTIFY THAT I HAVE RECEIVED THE ORIGINAL PLAT. FILED FOR RECORD THIS 16 DAY OF July, 2014. 3:00 O'CLOCK P.M.. AND DULY RECORDED IN BOOK NO. 320, PAGE 71.

PREPARED BY: TOM WEEK
407 REGAL DRIVE
YANKTON, SOUTH DAKOTA 57078
605-665-8333

[Signature]
REGISTER OF DEEDS, YANKTON COUNTY

#141709

\$60 pd.



NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held before the Yankton County Planning Commission, Yankton County, South Dakota, at 7:05 P.M. on the 8th day of December, 2020 at the Yankton County Government Center, Commissioners Chambers, 321 West Third St., Yankton, South Dakota. Applicant is requesting a Variance for a plat in a Rural Transitional District from 20 acres to 2.385 acres. Said property is legally described as proposed Plat of Tract 4A, DJ's Addition, Being Accretion Property Lying South of Tract 4, DJ's Addition, in Section 16, T93N, R55W, of the 5th PM, hereinafter referred to as Mission Hill Township, Yankton County, South Dakota. The E911 address is TBD Eastside Drive, Yankton, SD.

Notice is hereby given that a public hearing will be held before the Yankton County Planning Commission, Yankton County, South Dakota, at 7:15 P.M. on the 8th day of December, 2020 at the Yankton County Government Center, Commissioners Chambers, 321 West Third St., Yankton, South Dakota. Applicant is requesting to Rezone property in a dual zone of Lakeside Commercial District (LC) and Moderate Density Rural Residential District (R2) to Moderate Density Rural Residential District (R2). Said property is legally described as Lot 1A and Lot 3 of Leona's 2nd Addition in the NW1/4 of Section 17, T93N, R56W, of the 5th PM, hereinafter referred to as Utica South Township, Yankton County, South Dakota. The E911 address is 119 Marina Bluffs Rd, Yankton, SD 57078.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held before the Yankton County Planning Commission, Yankton County, South Dakota, at 7:10 P.M. on the 8th day of December, 2020 at the Yankton County Government Center, Commissioners Chambers, 321 West Third St., Yankton, South Dakota. Applicant is requesting a Conditional Use Permit for Repair shop in a Lakeside Commercial District (LC) per Article 11 Section 1107 at a camper dealership. Said property is legally described as Lot 7, Thon's Addition located in the SE1/4 of the NW1/4, Section 15, T93N, R56W, of the 5th PM, hereinafter referred to as Utica South Township, County of Yankton, State of South Dakota. The E911 address is 3311 Debra Blvd, Yankton, SD.

NOTICE OF PUBLIC HEARING

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held before the Yankton County Commission, Yankton County, South Dakota, at 7:00 P.M. on the 5th day of January, 2021 at the Yankton County Government Center, Commissioners Chambers, 321 West Third St., Yankton, South Dakota. Applicant is requesting a Variance for a plat in a Rural Transitional District from 20 acres to 2.385 acres. Said property is legally described as proposed Plat of Tract 4A, DJ's Addition, Being Accretion Property Lying South of Tract 4, DJ's Addition, in Section 16, T93N, R55W, of the 5th PM, hereinafter referred to as Mission Hill Township, Yankton County, South Dakota. The E911 address is TBD Eastside Drive, Yankton, SD.

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NOTICE OF PUBLIC HEARING