

November 12, 2025

AGENDA

YANKTON COUNTY PLANNING COMMISSION

☐ Cheri Loest
☐ Mike Welsh
☐ Don Kettering

☐ Sam Hummel
☐ Nick Huber
☐ Dan Clark

☐ Tim O'Hara

7:00 P.M.

Call Meeting to Order

Roll Call

Approve Minutes from previous meetings

Items to be added to Agenda

Approval of Agenda

Conflict of Interest Declarations

7:05 P.M.

Ordinance ZN-25-03 Public Hearing

7:10 P.M.

Plats

Bykov - Plat of Tract 1 Bykov Addition, an addition in the N1/2 of the NW1/4 of Section 14, T93N, R57W of the 5th P.M., Yankton County, South Dakota

7:15 P.M.

Public Comment

MEETING (ENTITY): PLANNING COMMISSION REGULAR OR SPECIAL MEETING: Regular
DATE: 10/14/2025 TIME: 7PM LOCATION: COMMISSION CHAMBERS

STAFF ATTENDANCE: Conkling/Vetter

ROLL ☒ HUBER ☒ LOEST ☒ KETTERING ☒ HUMMEL ☒ O'HARA ☒ WELSH ☒ CLARK

CALL:

APPROVAL OF MINUTES: MOTION BY: Kettering SECOND BY: Huber

PLANNING: ☒ HUBER ☒ LOEST ☒ KETTERING ☒ HUMMEL ☒ O'HARA ☒ WELSH ☒ CLARK

APPROVAL OF AGENDA: MOTION BY: Kettering SECOND BY: O'Hara

PLANNING: ☒ HUBER ☒ LOEST ☒ KETTERING ☒ HUMMEL ☒ O'HARA ☒ WELSH ☒ CLARK

AGENDA ITEM: Leber – Conditional Use Permit 08.034.200.020

ADDRESS/LEGAL: Applicant is requesting a Conditional Use Permit in an Agriculture District for a campground per Article 5 section 509, Article 18 section 1805, and Article 19 section 1905. Applicant wishes to maintain a 13-unit campground. Said property is legally described as Lot A in the Southeast Quarter of the Southeast Quarter (SE1/4SE1/4) in Section Thirty-four (34), Township Ninety-six (96) North, Range Fifty-five (55) West of the 5th PM, Yankton County, South Dakota. E911 address is 44398 S HWY 46, Irene, South Dakota.

COMMENTS: Stuart Huber
Dan Leber

MOTION: Approve application based on it having been a grandfathered use to begin with
Passed 7-0

APPROVAL: MOTION BY: Loest SECOND BY: Clark

PLANNING: ☒ HUBER ☒ LOEST ☒ KETTERING ☒ HUMMEL ☒ O'HARA ☒ WELSH ☒ CLARK

AGENDA ITEM: Frohreich Trust Tracts 1, 2, and 3 – Plat 07.019.200.200

ADDRESS/LEGAL: Plat of Tracts 1, 2, and 3 Frohreich's Addition being a replat of the South 23 Acres of the N1/2 of the SW1/4; The S1/2 of the SW1/4 and the SE1/4, Section 19, Also a portion of Gov. Lots 6 and 7, being in Section 20, T95N, R55W of the 5th P.M., Yankton County, South Dakota

COMMENTS: None

MOTION: Approve as presented
Passed 7-0

APPROVAL: MOTION BY: Loest SECOND BY: Welsh

PLANNING: ☒ HUBER ☒ LOEST ☒ KETTERING ☒ HUMMEL ☒ O'HARA ☒ WELSH ☒ CLARK

AGENDA ITEM: Frohreich Trust Tract 4 – Plat 07.019.200.200
ADDRESS/LEGAL: Plat of Tract 4 Frohreich’s Addition being a replat of a portion of Gov. Lots 6 and 7, and that portion of Gov. Lot 8 that lies South of the ¼ Line, in Section 20, T95N, R55W of the 5th P.M., Yankton County, South Dakota
COMMENTS: None

MOTION: Approve as presented
Passed 7-0

APPROVAL: MOTION BY: Loest SECOND BY: O’Hara
PLANNING: ☒ HUBER ☒ LOEST ☒ KETTERING ☒ HUMMEL ☒ O’HARA ☒ WELSH ☒ CLARK

AGENDA ITEM: Sinclair – Plat 07.019.200.200
ADDRESS/LEGAL: Plat of Sinclair Addition, being a replat of a portion of Tract IIA in Tract II and a portion of SE1/4 all in Section 19, and Tract IIB of Tract II and a portion of the SW1/4 all in Section 20, T95N, R55W of the 5th P.M., Yankton County, South Dakota
COMMENTS: None

MOTION: Approve as presented
Passed 6-0, Huber abstained

APPROVAL: MOTION BY: Loest SECOND BY: Clark
PLANNING: ☐ HUBER ☒ LOEST ☒ KETTERING ☒ HUMMEL ☒ O’HARA ☒ WELSH ☒ CLARK

AGENDA ITEM: Open meeting laws review
ADDRESS/LEGAL: _____
COMMENTS: _____

MOTION: Acknowledge commissioners have reviewed the open meeting laws

APPROVAL: MOTION BY: _____ SECOND BY: _____
PLANNING: ☒ HUBER ☒ LOEST ☒ KETTERING ☒ HUMMEL ☒ O’HARA ☒ WELSH ☒ CLARK

AGENDA ITEM: Highway 52 Overlay discussion

ADDRESS/LEGAL: _____

COMMENTS: None

MOTION: **Move to public hearing in November
Passed 6-0 (Welsh abstained).**

APPROVAL: MOTION BY: O'Hara SECOND BY: Huber

PLANNING: ☒ HUBER ☒ LOEST ☒ KETTERING ☒ HUMMEL ☒ O'HARA ☐ WELSH ☒ CLARK

AGENDA ITEM: Public Comment

ADDRESS/LEGAL: _____

COMMENTS: Mike Frick

MOTION: **Adjourn
Passed 6-0**

APPROVAL: MOTION BY: Loest SECOND BY: Kettering

PLANNING: ☒ HUBER ☒ LOEST ☒ KETTERING ☒ HUMMEL ☒ O'HARA ☐ WELSH ☒ CLARK

AGENDA ITEM: _____

ADDRESS/LEGAL: _____

COMMENTS: _____

MOTION: _____

APPROVAL: MOTION BY: _____ SECOND BY: _____

PLANNING: ☐ HUBER ☐ LOEST ☐ KETTERING ☐ HUMMEL ☐ O'HARA ☐ WELSH ☐ CLARK

AGENDA ITEM: _____

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COMMENTS: _____

MOTION: _____

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PLANNING: ☐ HUBER ☐ LOEST ☐ KETTERING ☐ HUMMEL ☐ O'HARA ☐ WELSH ☐ CLARK

AGENDA ITEM: _____
ADDRESS/LEGAL: _____
COMMENTS: _____

MOTION: _____

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PLANNING: ☐ HUBER ☐ LOEST ☐ KETTERING ☐ HUMMEL ☐ O'HARA ☐ WELSH ☐ CLARK

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ADDRESS/LEGAL: _____
COMMENTS: _____

MOTION: _____

APPROVAL: MOTION BY: _____ SECOND BY: _____
PLANNING: ☐ HUBER ☐ LOEST ☐ KETTERING ☐ HUMMEL ☐ O'HARA ☐ WELSH ☐ CLARK

YANKTON COUNTY

Official Zoning Map



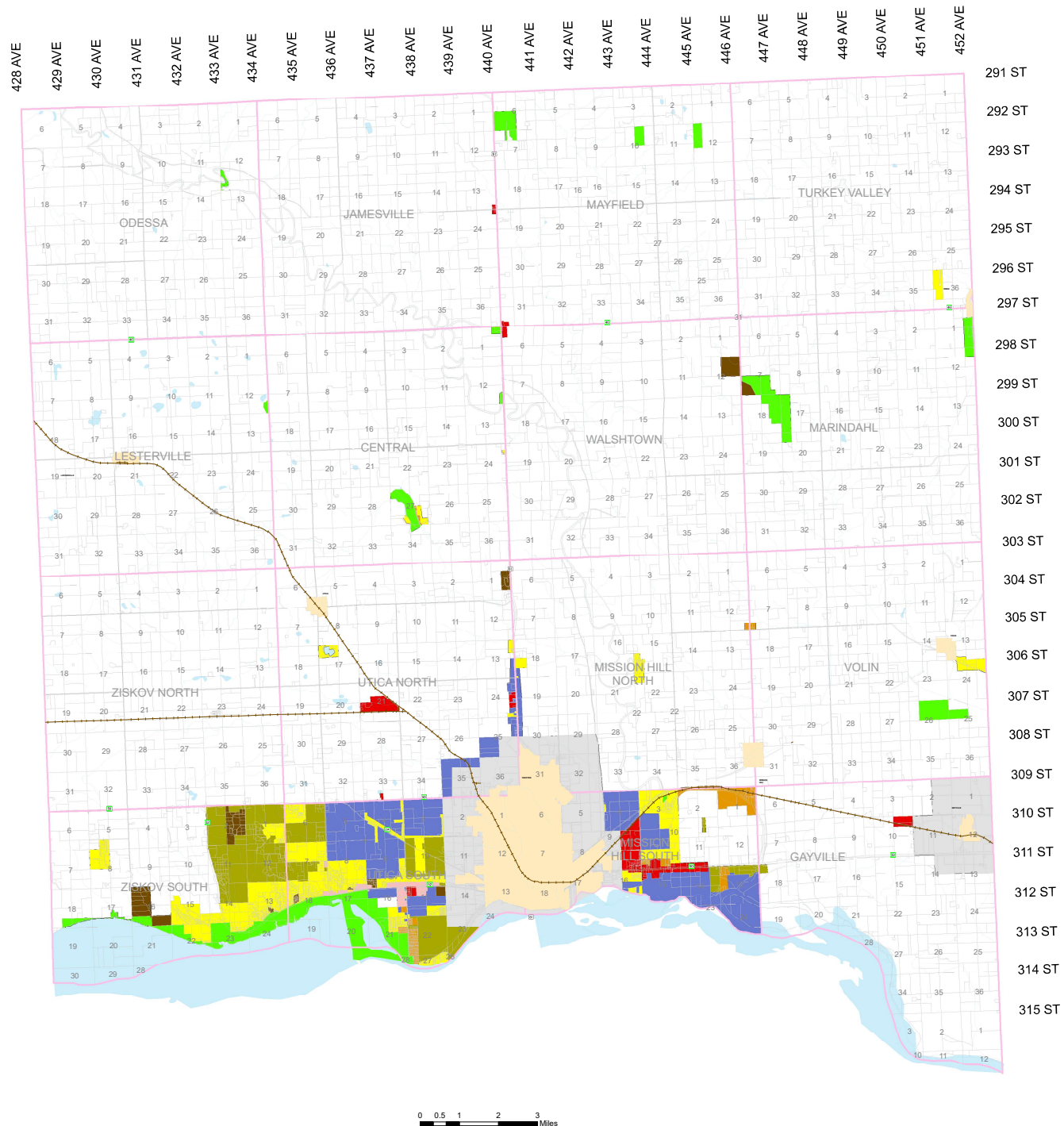
- Legend**
- RAILROAD
 - STREAM
 - US & STATE HIGHWAY
 - ROAD
 - CITY LIMIT
 - TOWNSHIP
 - PARCEL
 - LAKE
- ZONING CLASSIFICATIONS**
- AGRICULTURE
 - COMMERCIAL
 - ETJ
 - LAKE SIDE COMMERCIAL
 - HIGH DENSITY RESIDENTIAL
 - LOW DENSITY RESIDENTIAL
 - MODERATE DENSITY RESIDENTIAL
 - PUBLIC
 - PLANNED UNIT DEVELOPMENT
 - RURAL TRANSITIONAL

This is to certify that this Official Zoning Map supersedes and replaces the Official Zoning Map adopted February 18, 2020 as part of Ordinance 2020 of Yankton County, South Dakota.
Amended _____.

John Marquardt
Chair

Patty Hojem
Auditor

NEW ZONING DISTRICTS

[illegible]

This map is intended for general planning purposes only.
This map may or may not accurately represent the
actual conditions as they exist today. Any decisions

NEW ZONING DISTRICTS

DATE	PARCEL	REZONE
11/19/2020	13.001.500.650	R2 to R1
11/19/2020	10.024.200.110	RT to C
11/19/2020	10.024.200.120	RT to C
2/18/2021	09.017.450.030	LC/R2 to R2
2/18/2021	09.017.450.010	LC/R2 to R2
5/20/2021	05.016.100.250	RT to R2
5/20/2021	05.016.100.255	RT to R2
5/20/2021	05.016.100.265	RT to R2
5/20/2021	05.016.100.270	RT to R2
5/20/2021	05.016.100.275	RT to R2
5/20/2021	05.016.100.280	RT to R2
1/6/2022	09.017.100.310	R2 to PUD
3/10/2022	10.033.300.100	Ag to C - replat
4/14/2022	09.016.200.400	RT to AG
4/14/2022	10.024.200.210	RT to R2
4/14/2022	10.024.200.220	RT to R2
4/14/2022	10.024.200.300	RT to R2
4/14/2022	10.024.200.304	RT to R2
4/14/2022	10.024.200.120	RT to C
4/14/2022	06.016.300.300	RT to R2
4/14/2022	09.009.200.175	RT to R2
4/14/2022	09.009.200.150	RT to R2
4/14/2022	09.016.150.100	RT to R2
4/14/2022	09.009.200.202	RT to R2
8/18/2022	10.024.100.210	RT to C
8/18/2022	10.024.100.215	RT to C
9/15/2022	13.014.300.600	R2 to AG
9/15/2022	13.015.200.010	R2 to AG
11/17/2022	09.015.300.250	RT to R2
11/17/2022	09.022.400.450	R1 to R2
11/17/2022	09.017.100.320	R2 to PUD
11/17/2022	09.017.100.330	R2 to PUD
11/17/2022	09.017.100.340	R2 to PUD
11/17/2022	09.017.100.350	R2 to PUD
11/17/2022	09.017.100.360	R2 to PUD
8/17/2023	09.004.300.310	RT to R2
8/17/2023	09.004.300.320	RT to R2
8/17/2023	09.004.300.330	RT to R2
8/17/2023	09.004.300.340	RT to R2
8/17/2023	09.004.300.350	RT to R2
8/17/2023	09.004.300.360	RT to R2
10/19/2023	09.016.425.200	RT to LC
10/19/2023	06.018.300.250	RT to R2
11/16/2023	10.024.200.100 (portion platted off)	RT to C
12/21/2023	09.004.200.175	RT/R2 to R2
3/21/2024	09.009.200.201	RT to R2
4/8/2024	13.001.500.750	R2 to R1
6/20/2024	05.013.400.100	R1/RT to R1
6/20/2024	05.013.100.125	R1/RT to R1
6/20/2024	05.013.100.150	R1/RT to R1
6/20/2024	09.010.300.100	R1 to R2
7/18/2024	09.004.400.301	R2/RT to R2
11/14/2024	09.015.100.124	RT to LC
12/19/2024	09.004.300.150	RT to R2

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Chair

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Legend

- RAILROAD
- STREAM
- US & STATE HIGHWAY
- ROAD
- CITY LIMIT
- TOWNSHIP
- PARCEL
- LAKE

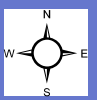
ZONING CLASSIFICATIONS

- AGRICULTURE
- COMMERCIAL
- ETJ
- LAKE SIDE COMMERCIAL
- HIGH DENSITY RESIDENTIAL
- LOW DENSITY RESIDENTIAL
- MODERATE DENSITY RESIDENTIAL
- PUBLIC
- PLANNED UNIT DEVELOPMENT
- RURAL TRANSITIONAL



YANKTON COUNTY

Official Zoning Map
Mission Hill South Township



This map is intended to provide a general overview of the zoning map. It is not intended to be used for legal purposes. For more information, please contact the Planning & Development Department.

NEW ZONING DISTRICTS

DATE	PARCEL	REZONE
1/19/2020	13.001.500.650	R2 to R1
1/19/2020	10.024.200.110	RT to C
11/19/2020	10.024.200.120	RT to C
2/18/2021	09.017.450.030	LC/R2 to R2
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4/14/2022	10.024.200.304	RT to R2
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4/14/2022	06.018.300.300	RT to R2
4/14/2022	09.009.200.175	RT to R2
4/14/2022	09.009.200.150	RT to R2
4/14/2022	09.016.150.180	RT to R2
4/14/2022	09.009.200.202	RT to R2
8/18/2022	10.024.100.210	RT to C
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9/15/2022	13.014.300.600	R2 to AG
9/15/2022	13.015.200.010	R2 to AG
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11/17/2022	09.022.400.450	R1 to R2
11/17/2022	09.017.100.320	R2 to PUD
11/17/2022	09.017.100.330	R2 to PUD
11/17/2022	09.017.100.340	R2 to PUD
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6/20/2024	09.013.100.150	R1/RT to R1
6/20/2024	09.010.300.100	R1 to R2
7/18/2024	09.004.400.301	R2/RT to R2
11/04/2024	09.015.100.124	RT to LC
11/19/2024	09.004.300.150	RT to R2

Legend	
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Chair

Patty Hojem
Auditor

YANKTON COUNTY

Official Zoning Map
Utica South Township

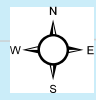
This map is intended to represent planning information only.
No warranty is made by the County, and no responsibility is assumed
for any errors or omissions. The County is not responsible for any
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11/17/2022	09.022.400.450	R1 to R2
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8/17/2023	09.004.300.320	RT to R2
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6/20/2024	09.010.300.100	R1 to R2
7/18/2024	09.004.400.301	R2/RT to R2
11/14/2024	09.015.100.124	R2 to R1
12/19/2024	09.004.300.150	R2 to R1

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John Marquardt
Chair
Patty Hojem
Auditor



0 0.125 0.25 0.5 0.75 Miles

Legend

- RAILROAD
- STREAM
- US & STATE HIGHWAY
- ROAD
- CITY LIMIT
- TOWNSHIP
- PARCEL
- LAKE

ZONING CLASSIFICATIONS

- AGRICULTURE
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YANKTON COUNTY
Official Zoning Map
Ziskov South Township

ARTICLE 11

LAKE SIDE COMMERCIAL DISTRICT (LC)

Section 1101 Intent

The intent of the Lakeside Commercial District (LC) is to provide commercial areas for those establishments that can function most satisfactorily in an area directly related to a tourist, outdoor recreation, and residential environment requiring vehicular circulation routes and large off right-of-way parking due to the nature of the customer base and vehicle traffic.

Section 1103 Permitted Principal Uses and Structures (Amended October 21, 2021)

The following principal uses and structures shall be permitted in a Lakeside Commercial District (LC): (Amended June 21, 2022)

1. Arcades;
2. Bars;
3. Day Cares, family;
4. Day Cares, group family home;
5. Financial institutions;
6. Gasoline stations;
7. Golf courses;
8. Governmental services;
9. Historic sites;
10. Indoor archery/shooting ranges;
11. Open sales areas;
12. Parks;
13. Restaurants;
14. Restaurants, drive-in;
15. Restaurants, in-house;
16. Retail sales;
17. Service establishments;

18. Theaters;
19. Utility facilities.
20. Cannabis Cultivation Facility
21. Cannabis Dispensary
22. Cannabis Product Manufacturing Facility; **(Amended December 19, 2023)**
23. Cannabis Testing Facility, and **(Amended December 19, 2023)**
24. Solar Energy Conversion Systems (SECS) under 50 kilowatts alternating current (AC) **(Amended December 19, 2023)**

Section 1105 **Permitted Accessory Uses and Structures**

Those accessory uses and structures normally appurtenant to the permitted principal uses and structures shall be permitted in a Lakeside Commercial District (LC) when established in conformance within the space limits of this district. **(Amended June 21, 2022)**

- I. Signs, banner;
2. Signs, directional off-site;
3. Signs, directional on-site;
4. Signs, easement and utility;
5. Signs, flag.
6. Signs, name and address plate;
7. Signs, on-site;
8. Signs, real estate; and
9. Accessory Structures.

Section 1107 **Conditional Uses**

After the provisions of this resolution relating to conditional uses have been fulfilled, the Board of Adjustment may permit as conditional uses in a Lakeside Commercial District (LC): **(Amended May 19, 2025)**

- I. Amusement parks;
2. Campgrounds;
3. Day care centers;
4. Dwellings, multi-family;

5. Dwellings, single-family;
6. Dwellings, two-family;
7. Exhibition areas;
8. Garages, public;
9. Hotels;
10. Kennels;
11. Motels ;
12. Outdoor shooting/archery ranges;
13. Outdoor storage areas;
14. Repair shops, auto-body;
15. Repair shops, motor vehicle;
16. Self-storage warehouses;
17. Signs, off-site, pursuant to Article 14;
18. Swimming pools;
19. Towers , pursuant to Article 25 & Article 26;
20. Veterinary clinics;
21. Warehousing facilities; and
22. Fireworks sales.

Section 1109 Classification of Unlisted Uses

In order to insure that the zoning ordinance will permit all similar uses in each district, the Board of Adjustment, upon its own initiative or upon written application, shall determine whether a use not specifically listed as a permitted, accessory, or conditional use in a District shall be deemed a permitted, accessory, or conditional use in one or more districts on the basis of similarity to uses specifically listed.

Section 1111 Prohibited Uses and Structures

All uses and structures which are not specifically permitted as principal, accessory, or conditional uses or approved as such within the provisions of Section 1109 shall be prohibited.

Section 1113 Minimum Lot Requirements (Amended June 21, 2022)

- I. The minimum lot area shall be 20,000 sq. ft.; and

2. The minimum lot width shall be seventy-five (75) feet.

Section 1115 Minimum Yard Requirements

All yards must meet the following criteria as measured from the lot lines. This Section shall apply to all buildings and structures, including but not limited to decks, patios, and carports: **(Amended June 21, 2022)**

1. There shall be a front yard of not less than a depth of fifty (50) feet;
2. There shall be a rear yard of not less than a depth of twenty-five (25) feet; and
3. Each side yard shall be not less than twenty-five (25) feet.

Section 1117 Traffic Visibility

1. A traffic visibility triangle as defined herein shall be maintained at all road intersections, public and private, driveways, railway crossings, or similar situation as determined by the Zoning Administrator; and
2. Structures, perennial or similar vegetation planted on or immediately adjacent to a road right-of-way public shall be approved in writing by the Zoning Administrator prior to construction or planting. No such vegetation between the heights of thirty (30) inches and ten (10) feet shall encroach upon the right-of-way at the time of planting or future growth. The Zoning Administrator reserves the right to refer such requests to Township Supervisors, the County Highway Superintendent, or other officials.

Section 1119 Project Design Guidelines and Exceptions

Any new development requiring a building permit built on land within the Lakeside Commercial District is subject to these guidelines. Rehabilitation , casualty loss replacement, repair, addition(s) or enlargement(s) of a building in place or under construction on a site as of the effective date of this Regulation are exceptions.

Site Design Guidelines

(A) BUILDING LOCATION AND ORIENTATION

1. Facades with principal entrances shall be oriented to the project's primary street or to an active pedestrian or public zone within the site. The primary street for a development is Highway 52, Timberland Drive, Deer Boulevard, or

a collector (frontage) street that fronts the development. The site plan shall determine orientation of the principal entrance.

2. Developments at intersections shall identify or emphasize their corners with significant landscaping or similar public feature. In a corner situation, a public feature may include a sign as referred to in Part E of this Section.
3. A clearly delineated pathway or route should connect all principal building business entrances to any sidewalks or trails on streets adjacent to the project.



(B) PEDESTRIAN ACCESS

1. Developments shall provide a continuous walkway connection at least 5 feet in width from the public sidewalk to the customer entrances of all principal buildings on the site. Developments adjacent to multi-use trails shall provide a direct connection from the trail to the development's internal pedestrian circulation system. For trails that are proposed in the county's comprehensive plan, trail master plan, or other adopted county document but are not yet constructed, the development plan shall make provisions for a connection to the trail, and shall be responsible for constructing the connection when the trail becomes available.
2. Multi-building developments shall provide clear and safe walkways at least 5 feet in width that connect all buildings on the site. Buildings not intended for routine customer access or intended solely for drive-up services are excluded from this requirement.
3. Where the required walkways specified in this section cross drives, parking aisles, or other vehicular ways, the crosswalks shall be distinguished from driving surfaces by the use of durable, low-maintenance surface materials such as concrete or brick pavers; scored, colored concrete; or painted concrete.
4. Pedestrian connections to adjacent developments shall be provided.

(C) VEHICULAR ACCESS

1. Developments shall make maximum use of internal cross-easements and shared access points when possible.
2. Main driveways and drive aisles shall provide a continuous system that connects to the main site entrance.

(D) PARKING

1. Parking shall be grouped into parking blocks that are divided by pedestrian paths, landscaping, or buildings.
2. A maximum of 400 parking stalls may be located in any one parking block.

**(E) SIGNS**

All permanent signs shall be designed, constructed and maintained in accordance with the following standards:

1. Attached signs shall be located above the building entrance, storefront opening, or at other locations that are compatible with the architectural features of the building. All signs shall be constructed of permanent materials and shall be permanently attached to the ground, a building, or another structure by direct attachment to a rigid wall, frame or structure. All signs shall be maintained in a safe and legible condition at all times, including the replacement of defective or damaged parts, painting, repainting, cleaning and other services required for maintenance of the signs. All signs with an electronic message display capability shall have internal ambient light monitors installed which automatically adjust brightness to the level defined in this chapter. If a sign is not so maintained, then the owner shall be notified in writing and required to remove the sign or to immediately bring the sign into compliance.
2. All lots abutting Highway 52 shall use monument or ground signs, shall not exceed fifteen feet (15) in height and shall not exceed 120 square feet on each side. Each pole sign shall not exceed thirty (30) feet in height and one hundred twenty (120) square feet on each side for electronic signs and / or one hundred twenty (120) square feet for traditional text / graphics signs. Multi-tenant business sign shall not exceed two (2) square feet / one (1) linear foot of street frontage with maximum of four hundred (400) square feet on each side.
3. All lots abutting Highway 52 exterior building on-site signs shall not exceed two (2) square feet / one (1) linear foot of structure frontage with maximum total of two hundred (200) square feet of signage for each structure.
4. Illuminated signs shall be so shielded, shaded or directed so that the light intensity shall not adversely affect the surrounding or facing premises nor adversely affect the safe vision of operators of vehicles on private or public roads. No illumination, including traditionally illuminated signs, shall exceed a

brightness level of 0.3 foot candles above ambient light at the nearest property line of abutting property.

5. A landscaped base area shall be provided for all signs appropriate to the mass and height of the sign. All areas within 5 feet of the base of any sign shall be landscaped. The landscaped area may include trees, shrubs, flowering perennials, ornamental tall grass, fountains, water features, decorative stonework, planters, sculpture, decorative paving, turf grass, loose stone, and mulch.
6. All banner signs will require a special permit for a period not exceeding sixty (60) days in a calendar year for a fee of \$50.00 for each sign permit. A banner sign permit for a period not exceeding three (3) days in a calendar year for a fee of \$25.00 for each sign permit.
7. Lots not abutting the designated highway are allowed signs as regulated by Article 14 of the Yankton County Zoning Ordinance.



(F) SCREENING

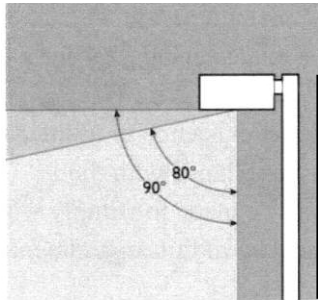
Developments shall provide year-round screening of outdoor storage, utility meters, HVAC equipment, trash collection and processing. Utility meters, HVAC, and trash collection, outdoor storage and processing shall be screened to its full vertical height. Trash enclosure gates shall furnish a steel frame with decorative steel or wood covering, or another design acceptable to the Zoning Administrator. Screening shall be integrated into the overall design of buildings and landscaping and fully contain the visual impact of these service functions from adjacent public streets and neighboring properties.

(G) LIGHTING

1. All lighting used to illuminate an off-street parking area, sign or other structure shall be arranged so as to deflect light away from any adjoining property through

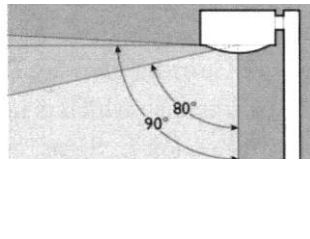
fixture type and location. When lighting is mounted to the underside of canopies, these lights shall be recessed so that the visible light source is no lower than the plane of the underside of the canopy.

2. The maximum height of lighting standards shall be 30 feet, unless the County grants a specific exception as part of the application approval process.
3. Exterior lighting of buildings shall be limited to illuminating devices hooded (bulb type/non-glare) in such a manner that the direct beam of any light sources will not glare upon adjacent property or public streets.



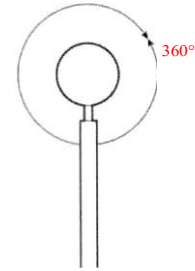
Permitted: Full Cutoff Luminaire

Does not allow light at 90 degrees.
Allows 100 cd per 1,000 lamp lumens at 80 degrees



Permitted: Cutoff Luminaire

Allows 25 cd per 1,000 lamp lumens at 90 degrees and 100 cd per 1,000 lamp lumens at 80 degrees



Not Permitted: Non-Cutoff Luminaire

Allows unrestricted distribution of light at any angle.

Source: IESNA

(H) MASS AND SCALE FOR BUILDINGS

1. Variations in the vertical plane of the building shall be incorporated into the mass of the building at significant entrances or along walls that front plazas or other significant pedestrian features. Methods of variation may include towers, pediments, or facade articulations or variations; changes in the horizontal plane; or enhancements in color and materials, consistent with the overall design of the building.
2. Primary building facades shall meet one of the following guidelines:
 - a. Facades shall incorporate projections or recesses in the wallplane.
 - b. Facades shall display a pattern of color change, texture change, material change, or expression of structural bays with an offset of at least 12 inches from the ruling plane of the facade.
3. The Yankton County Board of Commissioners may waive these guidelines if the applicant demonstrates an alternative building design that in the Board's opinion provides visual interest and scale to the building.

(I) ARCHITECTURAL ELEMENTS

1. Front facades facing a primary street shall have visible, clearly defined customer entrances that include at least three of the following elements: canopies or

porticos, overhangs, recesses or projections, arcades, raised cornice parapets over the entrance door, distinctive roof forms, arches, outdoor patios or plazas, display windows, or integral planters.

2. Front facades shall utilize variations in color, horizontal planes, materials, patterns, height, or other techniques to provide visual interest and scale to buildings.
3. All rear and side facades abutting an arterial or collector shall use a simplified expression of the materials and design used on the front facade.

(J) BUILDING MATERIALS

1. Permitted exterior building materials shall be high quality, durable materials that include, but are not limited to, brick, native or manufactured stone, wood, concrete, cement and/or architectural metals.
2. Materials on all sides of the building shall complement the front facade.
3. These guidelines are not intended to inhibit creativity and innovation in building design.

(K) ROOF FORMS

1. Buildings with slightly sloped roofs to drain shall incorporate parapets on all facades that face a public street or residential district. Variations in parapet height and articulation of cornice lines may be used to add interest.
2. Roof forms shall be designed to express various building functions or features, such as entrances.
3. Visible roof materials shall include clay or concrete tile, split shakes, tern metal, architectural grade asphalt shingles, asphalt shingles, fiberglass shingles, architectural metals, copper, natural or synthetic slate, or similar durable



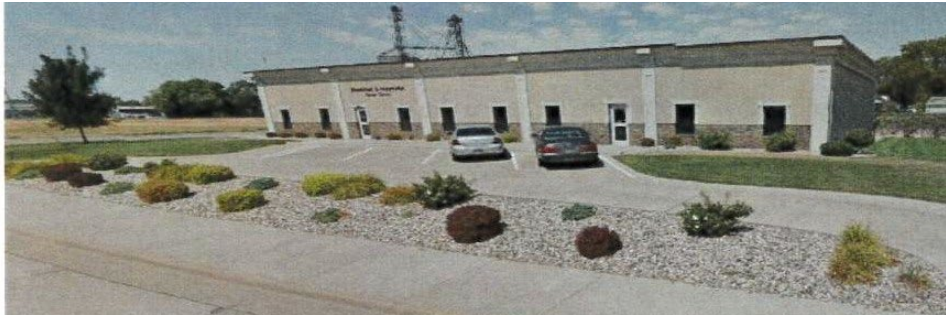
materials,

Section 1121 LANDSCAPE STANDARDS FOR ALL USES

1. Building Perimeter Walls

Shrubs, or other landscape materials, shall be planted / placed within 15 feet of the foundation of the primary structure along each building facade at the rate of at least 20 shrubs per 50 lineal feet of building facade except for sides or rear of building

used for loading or service areas. Foundation plantings may be clustered to provide visual interest.



2. Roadway Frontage

Along highway frontage there shall be a minimum 10-ft. wide landscape strip, continuous along the frontage except for perpendicular crossings for driveways and utilities. The landscape strip shall be planted with shade trees (6 ft. tall, 2" caliper, dbh, at time of planting, and not less than 20 ft. tall at maturity) planted not more than 50 ft. on center, and shrubbery forming an intermittent hedge not less than 3 ft. in height designed to provide an adequate screen. Landscape berms, earthen mounds designed to provide visual interest, screen undesirable views, and/or decrease noise, may be incorporated into the landscape design.



3. Outdoor Sales Display Areas

Along highway frontage there shall be a minimum 10 -ft. wide landscape strip, continuous along the frontage except for perpendicular crossings for driveways and utilities. The landscape strip shall be planted in a bed of ground cover, sod, landscape mulch and/or low shrubbery.

4. Outdoor Storage Areas

Along highway frontage there shall be a minimum 10-ft. wide landscape strip, continuous along the frontage except for perpendicular crossings for driveways and utilities. The landscape strip shall be planted in a bed of ground cover, sod, landscape mulch and/or low shrubbery.

5. Customer Parking Lot Landscaping

- a. Each parking area of over 25 spaces shall include landscaped islands within the parking area equivalent to not less than 5 - 10 percent with Planning Director discretion of the total paved area of the parking lot, not including pervious paving surfaces.

Landscaping in parking lots shall contain at least 1 shade tree (minimum of 6 ft. tall and 2" caliper dbh at time of planting and 20 ft. tall at maturity) for each 100 square feet of landscaping. Shade trees shall be planted in a bed of ground cover, sod, landscape mulch and/or low shrubbery. -



6. Perimeter Landscaping

- a. Where parking lots abut adjacent residentially zoned or residentially used property, a transitional buffer is required.
- b. Where parking lots abut public streets other than the Highway, a landscape strip is required.
- c. Appropriate shade tree species for landscaping parking lots are required.

THIS PAGE RESERVED FOR FUTURE USE

REPEAL:

ARTICLE 27

HIGHWAY 52 CORRIDOR OVERLAY DISTRICT

Section 2701—PURPOSE

~~Yankton County offers one of the most scenic drives in South Dakota. The view from Chalkstone Hill is spectacular and the corridor ends at beautiful Lewis and Clark Lake. This rich natural environment should be complemented by a vibrant built environment. The Highway 52 Corridor Overlay District (HC) provides basic guidelines that promote quality design along the most visible and heavily traveled road corridor in the Yankton County zoning jurisdiction: Highway 52 from the City of Yankton to Lewis and Clark Lake. The Highway 52 Corridor Overlay District is intended to: Encourage development design that strengthens the physical character and image of Yankton County; Support the value of property and quality of development in the major highway corridor; set basic requirements for good site design and development, building design, landscaping, and signage without discouraging creativity and flexibility in design; permit safe and convenient transportation access and circulation for motorized and non-motorized vehicles, and for pedestrians; manage the impact of commercial and industrial development on adjacent residential neighborhoods.~~

Section 2703—PROHIBITED USES

~~The uses permitted in the Highway 52 Corridor Overlay District (HC) shall be the same as those permitted by the underlying base zoning district except as provided by this section. The following uses shall be prohibited within the Highway 52 Corridor Overlay District:~~

- ~~• Hazardous waste storage;~~
- ~~• Manufacturing as stated in the Definitions section of the Yankton County Zoning Ordinance, except by a conditional use permit;~~
- ~~• Mobile home, modular home, and manufactured home sales;~~
- ~~• Mobile home parks;~~
- ~~• Pawn shops, as stated in the Definitions section of the Yankton County Zoning Ordinance;~~
- ~~• Residential houses (exclude all rural residential districts);~~
- ~~• Salvage or junk yard operations and transfer stations, as a primary use;~~
- ~~• Tow lots, as a primary use.~~

~~Section 2705—HIGHWAY CORRIDOR OVERLAY DISTRICT BOUNDARIES (HC)~~

The Highway Corridor Overlay District (HC) applies to the following areas:

- ~~Land within 650 feet south and north side of the centerline of Highway 52 within the planning jurisdiction of Yankton County.~~
- ~~The eastern terminus of the Corridor Overlay District is the intersection of Highway 52 and lower Chalkstone Road.~~
- ~~The western terminus of the Corridor Overlay District is the intersection of Highway 52 and Welkom Avenue. This area shall include all property zoned Lakeside Commercial on the north side of Highway 52.~~

~~Section 2707—PROJECT APPLICATION AND EXCEPTIONS~~

The Highway 52 Corridor Overlay District (HC), its development guidelines, and other provisions, apply to the following:

~~Any new development requiring a building permit built on land within the boundaries of the Highway 52 Corridor Overlay District after the effective date of this Regulation, except any land that was platted prior to the adoption of this Overlay District. Replats, lot line adjustments, and lot consolidations of such platted properties shall remain excepted. Phased Developments, such as Planned Unit Developments, shall mean property that was, at a minimum, preliminary platted and at least a part of the property within the preliminary plat was final platted. This Overlay District shall include phased developments, such as Planned Unit Developments, if new development occurs within the boundaries of the District as outlined in Section 105.~~

~~The requirements of the Highway 52 Corridor Overlay District apply to any rehabilitation, repair, addition(s) or enlargement(s) of a building in place or under construction on a site as of the effective date of this Regulation. The requirements of the HC Overlay District do not apply to any building under construction on a site as of the effective date of this regulation necessitated by casualty loss.~~

~~Section 2709—DESIGN GUIDELINES FOR COMMERCIAL AND OFFICE USES~~

Site Design Guidelines

~~(K) BUILDING LOCATION AND ORIENTATION~~

1. ~~Facades with principal entrances shall be oriented to the project's primary street or to an active pedestrian or public zone within the site. The primary street for a development is Highway 52, Timberland Drive, Deer Boulevard, or~~

~~a collector (frontage) street that fronts the development. The site plan shall determine orientation of the principal entrance.~~

- ~~2. Developments at intersections shall identify or emphasize their corners with significant landscaping or similar public feature. In a corner situation, a public feature may include a sign as referred to in Part E of this Section.~~
- ~~3. A clearly delineated pathway or route should connect all principal building or business entrances to any sidewalks or trails on streets adjacent to the project.~~



~~(L) PEDESTRIAN ACCESS~~

- ~~5. Developments shall provide a continuous walkway connection at least 5 feet in width from the public sidewalk to the customer entrances of all principal buildings on the site. Developments adjacent to multi-use trails shall provide a direct connection from the trail to the development's internal pedestrian circulation system. For trails that are proposed in the county's comprehensive plan, trail master plan, or other adopted county document but are not yet constructed, the development plan shall make provisions for a connection to the trail, and shall be responsible for constructing the connection when the trail becomes available.~~
- ~~6. Multi-building developments shall provide clear and safe walkways at least 5 feet in width that connect all buildings on the site. Buildings not intended for routine customer access or intended solely for drive-up services are excluded from this requirement.~~
- ~~7. Where the required walkways specified in this section cross drives, parking aisles, or other vehicular ways, the crosswalks shall be distinguished from driving surfaces by the use of durable, low-maintenance surface materials such as concrete or brick pavers; scored, colored concrete; or painted concrete.~~
- ~~8. Pedestrian connections to adjacent developments shall be provided.~~

~~(M) VEHICULAR ACCESS~~

- ~~1. Developments shall make maximum use of internal cross-easements and shared access points when possible.~~
- ~~2. Main driveways and drive aisles shall provide a continuous system that connects to the main site entrance.~~

~~(N) PARKING~~

- ~~1. Parking shall be grouped into parking blocks that are divided by pedestrian paths, landscaping, or buildings.~~
- ~~2. A maximum of 400 parking stalls may be located in any one parking block.~~

~~(O) SIGNS~~

~~All permanent signs shall be designed, constructed and maintained in accordance with the following standards:~~

- ~~8. Attached signs shall be located above the building entrance, storefront opening, or at other locations that are compatible with the architectural features of the building. All signs shall be constructed of permanent materials and shall be permanently attached to the ground, a building, or another structure by direct attachment to a rigid wall, frame or structure. All signs shall be maintained in a safe and legible condition at all times, including the replacement of defective or damaged parts, painting, repainting, cleaning and other services required for maintenance of the signs. All signs with an electronic message display capability shall have internal ambient light monitors installed which automatically adjust brightness to the level defined in this chapter. If a sign is not so maintained, then the owner shall be notified in writing and required to remove the sign or to immediately bring the sign into compliance.~~
- ~~9. All lots abutting Highway 52 shall use monument or ground signs, shall not exceed fifteen feet (15) in height and shall not exceed 120 square feet on each side. Each pole sign shall not exceed thirty (30) feet in height and one hundred twenty (120) square feet on each side for electronic signs and / or one hundred twenty (120) square feet for traditional text / graphics signs. Multi tenant business sign shall not exceed two (2) square feet / one (1) linear foot of street frontage with maximum of four hundred (400) square feet on each side.~~
- ~~10. All lots abutting Highway 52 exterior building on site signs shall not exceed two (2) square feet / one (1) linear foot of structure frontage with maximum total of two hundred (200) square feet of signage for each structure.~~
- ~~11. Illuminated signs shall be so shielded, shaded or directed so that the light intensity shall not adversely affect the surrounding or facing premises nor adversely affect the safe vision of operators of vehicles on private or public roads. No illumination, including traditionally illuminated signs, shall exceed a~~

brightness level of 0.3 foot candles above ambient light at the nearest property line of abutting property.

- ~~12. A landscaped base area shall be provided for all signs appropriate to the mass and height of the sign. All areas within 5 feet of the base of any sign shall be landscaped. The landscaped area may include trees, shrubs, flowering perennials, ornamental tall grass, fountains, water features, decorative stonework, planters, sculpture, decorative paving, turf grass, loose stone, and mulch.~~
- ~~13. All banner signs will require a special permit for a period not exceeding sixty (60) days in a calendar year for a fee of \$50.00 for each sign permit. A banner sign permit for a period not exceeding three (3) days in a calendar year for a fee of \$25.00 for each sign permit.~~
- ~~14. All property in the Hwy 52 Corridor Overlay District in existence as of the date of this amended Overlay Ordinance which is not in compliance with the requirements of Article 27, Section E: Signs, #6, shall be made to comply with all such regulations within twelve (12) months of the date of this amendment to the Corridor Overlay District.~~
- ~~15. Lots not abutting the designated highway are allowed signs as regulated by: Article 14 of the Yankton County Zoning Ordinance.~~



~~(P) SCREENING~~

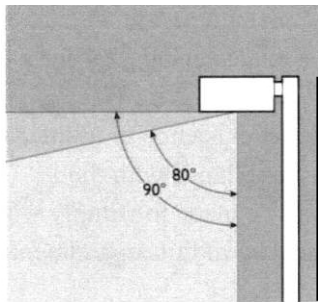
~~Developments shall provide year-round screening of outdoor storage, utility meters, HVAC equipment, trash collection and processing. Utility meters, HVAC, and trash collection, outdoor storage and processing shall be screened to its full vertical height. Trash enclosure gates shall furnish a steel frame with decorative steel or wood covering, or another design acceptable to the Zoning Administrator. Screening shall be integrated into the overall design of buildings and landscaping and fully contain the visual impact of these service functions from adjacent public streets and neighboring properties.~~

~~(Q) LIGHTING~~

- ~~4. All lighting used to illuminate an off-street parking area, sign or other structure shall be arranged so as to deflect light away from any adjoining property through~~

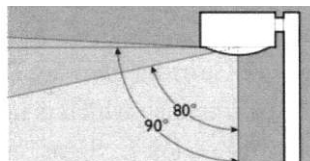
~~fixture type and location. When lighting is mounted to the underside of canopies, these lights shall be recessed so that the visible light source is no lower than the plane of the underside of the canopy.~~

- ~~5. The maximum height of lighting standards shall be 30 feet, unless the County grants a specific exception as part of the application approval process.~~
- ~~6. Exterior lighting of buildings shall be limited to illuminating devices hooded (bulb type/non-glare) in such a manner that the direct beam of any light sources will not glare upon adjacent property or public streets.~~



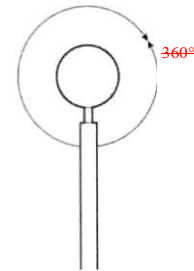
Permitted: Full Cutoff Luminaire

~~Does not allow light at 90 degrees. Allows 100 cd per 1,000 lamp lumens at 80 degrees~~



Permitted: Cutoff Luminaire

~~Allows 25 cd per 1,000 lamp lumens at 90 degrees and 100 cd per 1,000 lamp lumens at 80 degrees~~



Not Permitted: Non-Cutoff Luminaire

~~Allows unrestricted distribution of light at any angle.~~

Source: IESNA

Section 2711 ARCHITECTURAL GUIDELINES

(A) MASS AND SCALE FOR BUILDINGS

- ~~4. Variations in the vertical plane of the building shall be incorporated into the mass of the building at significant entrances or along walls that front plazas or other significant pedestrian features. Methods of variation may include towers, pediments, or facade articulations or variations; changes in the horizontal plane; or enhancements in color and materials, consistent with the overall design of the building.~~
- ~~5. Primary building facades shall meet one of the following guidelines:

 - ~~a. Facades shall incorporate projections or recesses in the wall plane.~~
 - ~~b. Facades shall display a pattern of color change, texture change, material change, or expression of structural bays with an offset of at least 12 inches from the ruling plane of the facade.~~~~
- ~~6. The Yankton County Board of Commissioners may waive these guidelines if the applicant demonstrates an alternative building design that in the Board's opinion provides visual interest and scale to the building.~~

(B) ARCHITECTURAL ELEMENTS

- ~~4. Front facades facing a primary street shall have visible, clearly defined customer entrances that include at least three of the following elements: canopies or~~

~~porticos, overhangs, recesses or projections, arcades, raised cornice parapets over the entrance door, distinctive roof forms, arches, outdoor patios or plazas, display windows, or integral planters.~~

- ~~5. Front facades shall utilize variations in color, horizontal planes, materials, patterns, height, or other techniques to provide visual interest and scale to buildings.~~
- ~~6. All rear and side facades abutting an arterial or collector shall use a simplified expression of the materials and design used on the front facade.~~

~~(C) BUILDING MATERIALS~~

- ~~4. Permitted exterior building materials shall be high quality, durable materials that include, but are not limited to, brick, native or manufactured stone, wood, concrete, cement and/or architectural metals.~~
- ~~5. Materials on all sides of the building shall complement the front facade.~~
- ~~6. These guidelines are not intended to inhibit creativity and innovation in building design.~~

~~(D) ROOF FORMS~~

- ~~1. Buildings with slightly sloped roofs to drain shall incorporate parapets on all facades that face a public street or residential district. Variations in parapet height and articulation of cornice lines may be used to add interest.~~
- ~~4. Roof forms shall be designed to express various building functions or features, such as entrances.~~
- ~~5. Visible roof materials shall include clay or concrete tile, split shakes, tern metal, architectural grade asphalt shingles, asphalt shingles, fiberglass shingles, architectural metals, copper, natural or synthetic slate, or similar durable~~



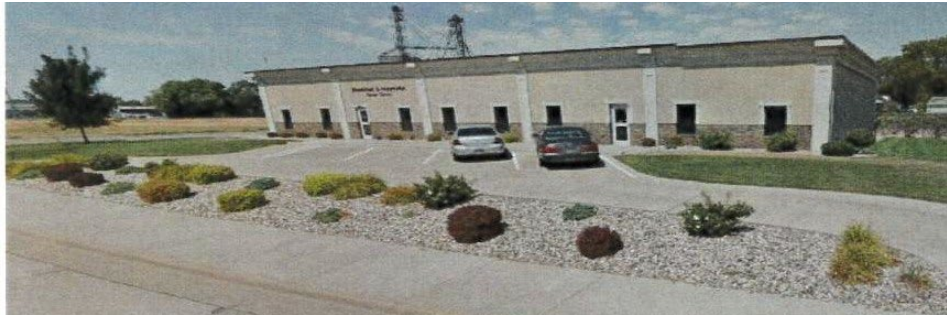
~~materials,~~

~~Section 2713 – LANDSCAPE STANDARDS FOR ALL USES~~

~~7. Building Perimeter Walls~~

~~Shrubs, or other landscape materials, shall be planted / placed within 15 feet of the foundation of the primary structure along each building facade at the rate of at least 20 shrubs per 50 lineal feet of building facade except for sides or rear of building~~

~~used for loading or service areas. Foundation plantings may be clustered to provide visual interest.~~



~~8. Roadway Frontage~~

~~Along highway frontage there shall be a minimum 10-ft. wide landscape strip, continuous along the frontage except for perpendicular crossings for driveways and utilities. The landscape strip shall be planted with shade trees (6 ft. tall, 2" caliper, dbh, at time of planting, and not less than 20 ft. tall at maturity) planted not more than 50 ft. on center, and shrubbery forming an intermittent hedge not less than 3 ft. in height designed to provide an adequate screen. Landscape berms, earthen mounds designed to provide visual interest, screen undesirable views, and/or decrease noise, may be incorporated into the landscape design.~~



~~9. Outdoor Sales Display Areas~~

~~Along highway frontage there shall be a minimum 10-ft. wide landscape strip, continuous along the frontage except for perpendicular crossings for driveways and utilities. The landscape strip shall be planted in a bed of ground cover, sod, landscape mulch and/or low shrubbery.~~

~~10. Outdoor Storage Areas~~

~~Along highway frontage there shall be a minimum 10-ft. wide landscape strip, continuous along the frontage except for perpendicular crossings for driveways and utilities. The landscape strip shall be planted in a bed of ground cover, sod, landscape mulch and/or low shrubbery.~~

~~11. Customer Parking Lot Landscaping~~

- ~~a. Each parking area of over 25 spaces shall include landscaped islands within the parking area equivalent to not less than 5–10 percent with Planning Director discretion of the total paved area of the parking lot, not including pervious paving surfaces.~~

~~Landscaping in parking lots shall contain at least 1 shade tree (minimum of 6 ft. tall and 2" caliper dbh at time of planting and 20 ft. tall at maturity) for each 100 square feet of landscaping. Shade trees shall be planted in a bed of ground cover, sod, landscape mulch and/or low shrubbery.~~

~~12. Perimeter Landscaping~~

- ~~a. Where parking lots abut adjacent residentially zoned or residentially used property, a transitional buffer is required.~~
- ~~b. Where parking lots abut public streets other than the Highway, a landscape strip is required.~~
- ~~c. Appropriate shade tree species for landscaping parking lots include the following:

 - ~~1. White Swamp Oak~~
 - ~~2. Various ornamental crab apple cultivars~~
 - ~~3. Ginkgo (Variety: President, Autumn Gold, male gender)~~
 - ~~4. Acco-Iad-e Elm~~
 - ~~5. Amur Maple~~
 - ~~6. Autumn Blaze Maple~~
 - ~~7. Various Lindencultivars~~
 - ~~8. Various Sprucecultivars~~
 - ~~9. Various Birch cultivars~~
 - ~~10. Other indigenous species approved by the Zoning Administrator.~~~~

~~***THIS PAGE RESERVED FOR FUTURE USE***~~

Yankton County Planning Commission
Yankton County Board of Adjustment

Date filed: 3/14/2025

Applicant

Bykov Addition- PLAT

District type: ☐ AG ☒ R1-Low ☐ R2-Moderate ☐ R3-High ☐ C-Comm.

☐ LC – Lakeside Commercial ☐ RT-Rural Transitional

Variance needed:

☐ Section 513 (4) – Existing Farmstead/Home ☐ Section 515 ☐ Section 705

☐ Section 715 ☐ Section 805

☐ Other 605

North Side/ Yard lot line: _____ feet or no closer than _____ feet to the _____ lot line.

East Side / Yard lot line: _____ feet or no closer than _____ feet to the _____ lot line.

South Side / Yard lot line: _____ feet or no closer than _____ feet to the _____ lot line.

West Side / Yard lot line _____ feet or no closer than _____ feet to the _____ lot line.

Accessory Building Size allowed:

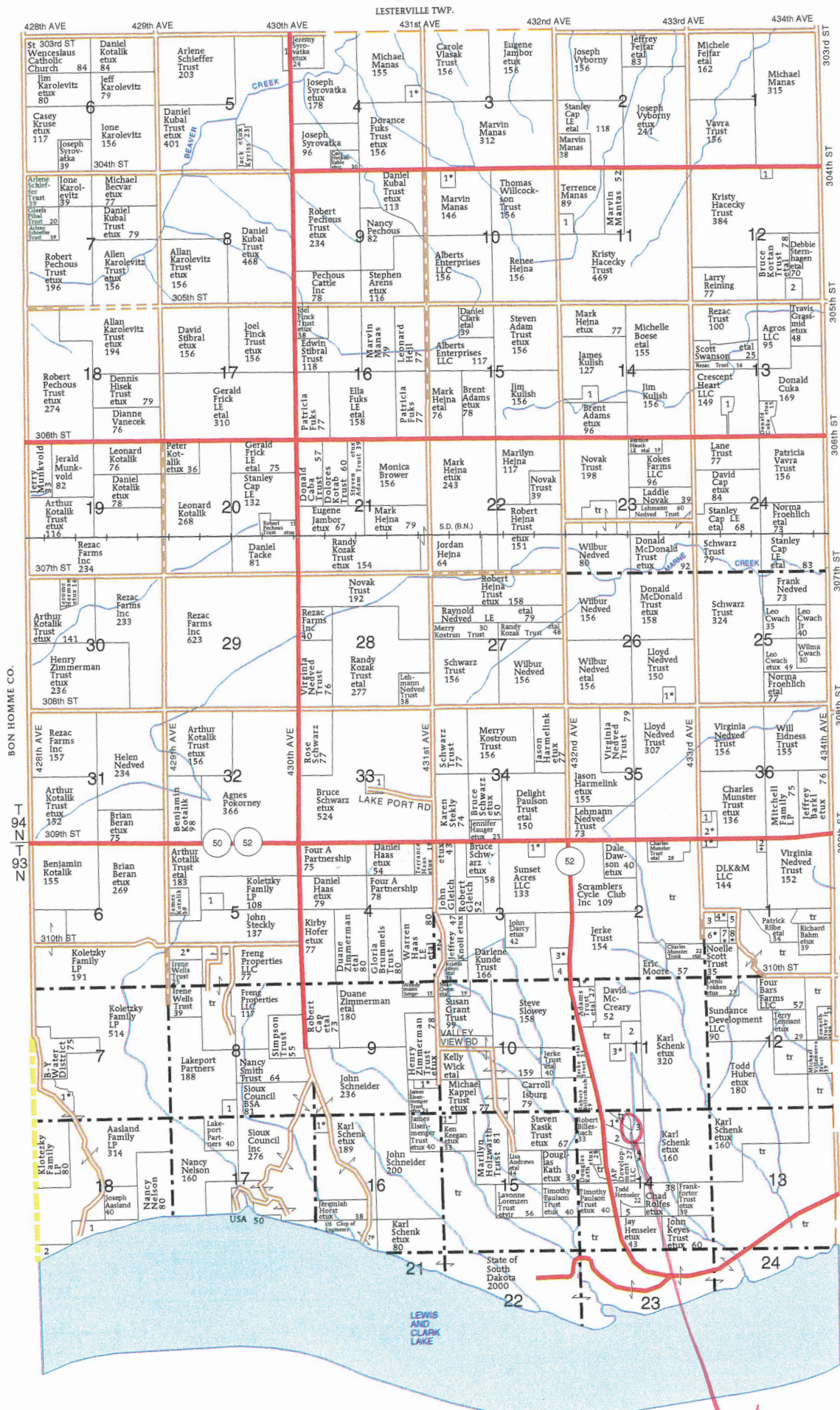
Proposed building size:

Proposed sidewall height:

Affects Section:

NOTE:

Plat of Tract 1 Bykov Addition, an addition in the N1/2 of the NW1/4 of Section 14, T93N, R57W of the 5th P.M., Yankton County, South Dakota



ZISKOV TOWNSHIP

SECTION 1S

- 1 GATES, GARY ETAL
- 2 BAKKE, KENDRA ETVR
- 3 BARTH, CHAD
- 4 FISCHER, KATRINA ETAL
- 5 GAUSE, JANEL
- 6 TAYLOR, LYNN ETUX
- 7 SCOTT, BJAYE ETUX
- 8 KRAMER, FRANCIS ETAL

SECTION 3S

- 1 AUSDEMORE, ROBERT ETAL
- 2 HAAS TRUST, WARREN ETUX
- 3 MUELLER, JAMES ETUX
- 4 KUNDE, DARLENE

SECTION 4N

- 1 HOFFMAN, RC ETUX

SECTION 5N

- 1 POLISH CATHOLIC CONGREGATION

SECTION 6S

- 1 WILLIS, CAROL
- 2 SEDLACEK, KENNETH ETUX

SECTION 7S

- 1 KOLETZKY, IONE ETAL

SECTION 8S

- 1 KOSTER, JEFF

SECTION 9S

- 1 WOSTREL, ELDON ETUX

SECTION 10N

- 1 MANAS, TERENCE ETUX

SECTION 11N

- 1 CAP, DANIEL

SECTION 11S

- 1 HABERMAN, ADAM ETUX
- 2 KONOPASEK TRUST
- 3 LYONS, SEAN ETAL

SECTION 12N

- 1 HACECKY, KERRY ANN
- 2 HEJNA, MARILYN

SECTION 13N

- 1 MANAS, DYLAN

SECTION 14N

- 1 SUDBECK, CHARLENE

SECTION 14S

- 1 PETERSON, COREY ETAL
- 2 FEIMER FAMILY PROTECTION TRUST
- 3 COLBY, DAVID
- 4 VANDEKOP, DALE ETUX
- 5 K&M HENSELER TRUST

SECTION 15S

- 1 MCGARGILL, JONI ETVR

SECTION 16S

- 1 FLANNERY, ROBBIE ETUX

SECTION 16S

- 1 STATE OF SOUTH DAKOTA GAME FISH & PARKS
- 2 YONKE TRUST, MARK

SECTION 26

- 1 MARTIN, NATHAN ETUX

SECTION 23

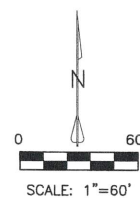
- 1 ST WENCESLAUS ROMAN CATHOLIC CHURCH

SECTION 36

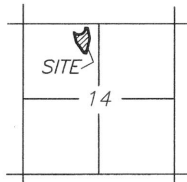
- 1 TACKER, JOSEPH
- 2 KOLETZKY, DAVID ETUX

Location

AN ADDITION IN THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 93 NORTH,
RANGE 57 WEST OF THE 5TH PRINCIPAL MERIDIAN, YANKTON COUNTY, SOUTH DAKOTA.



LOT 3
KAISER KANYON
ADDITION



AREA MAP N.T.S.
SECTION 14, T93N, R57W
5TH P.M.

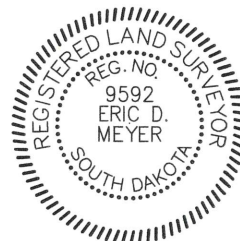
● SET 5/8" REBAR W/CAP #9592
 △ FD. MONUMENT
 ○ SECTION CORNER (AS NOTED)
 (R) RECORD INFORMATION
 AC. ACRES
 S.F. SQUARE FEET
 U.E. UTILITY EASEMENT
 A.E. ACCESS EASEMENT
 D.E. DRAINAGE EASEMENT
 R/W RIGHT-OF-WAY
 N.T.S. NOT TO SCALE
 --- EASEMENT LINE
 --- PREVIOUSLY PLATTED PROPERTY LINE
 ----- SECTION LINE
 ===== PLATTED PARCEL

I, Eric D. Meyer, of Meyer Land Surveying, LLC., a Registered Land Surveyor in the State of South Dakota, do hereby state that I did, on or before this date, survey Lot 11 Block 1 Sherwood Acres, as platted Book S7, page 63, AND Parcel A of Lot 11 Block 1, Sherwood Acres, as platted in Book S13, page 77, AND Lot 2 of Kabeiseman Tract B, as platted in Book S18, page 144, all in Yankton County, South Dakota, as shown on the foregoing PLAT.

The same shall be known and described as TRACT 1 OF BYKOV ADDITION IN THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 93 NORTH, RANGE 57 WEST OF THE 5TH P.M., YANKTON COUNTY, SOUTH DAKOTA.

I further certify that the above PLAT correctly represents the same, is true and correct and that it was made at the request of the owners.

Dated this _____ day of _____, 20____



PREPARED BY:
Meyer Land Surveying, LLC
45246 Hwy 44
Parker, SD 57053
Phone: (605) 310-9401

NOTES:
BASIS OF BEARINGS IS UTM-ZONE 14

THIS PLAT WAS PREPARED WITHOUT THE
BENEFIT OF A TITLE COMMITMENT.

EASEMENTS OF RECORD WERE NOT RESEARCHED AND ARE NOT SHOWN ON THE PLAT.

Eric D. Meyer, Registered Land Surveyor No. 9592

PLAT OF TRACT 1 OF BYKOV ADDITION

AN ADDITION IN THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 93 NORTH,
RANGE 57 WEST OF THE 5TH PRINCIPAL MERIDIAN, YANKTON COUNTY, SOUTH DAKOTA.

OWNER'S CERTIFICATE

We, the undersigned, do hereby certify that we are the owners of all land included in the above plat and that said plat has been made at our request and in accordance with our instructions for the purposes of transfer, and that the development of this land shall conform to all existing applicable zoning, subdivision and erosion and sediment control regulations.

We hereby dedicate to the public for public use forever, the streets, roads, alleys, parks and public grounds, if any, as shown on said plat, including all sewers, culverts, bridges, water distribution lines, sidewalks and other improvements on or under the streets, roads, alleys, parks and public grounds whether such improvements are shown or not. We also hereby grant easements to run with the land for water, drainage, sewer, gas, electric, telephone, cable television, or other public utility lines or services, under, on or over those strips of land designated hereon as easements.

We do hereby certify that this replat will not place any existing lot or building in violation of any applicable ordinance, code, regulation, or law including but not limited to zoning, building, subdivision, and flood prevention.

We further certify that this platting of said described Tract 1 of Bykov's Addition does hereby vacate the following platting:

Lot 11 Block 1 Sherwood Acres, as platted Book S7, page 63, AND Parcel A of Lot 11 Block 1, Sherwood Acres, as platted in Book S13, page 77, AND Lot 2 of Kabeiserman Tract 8, as platted in Book S18, page 144, all in Yankton County, South Dakota, said plots, hereby vacated, being situated within described Tract 1 of Bykov's Addition as surveyed.

Dated this _____ Day of _____, 20____.

Vladislav G. Bykov

State of _____

County of _____

On this the _____ day of _____, 20____, before me, the undersigned officer, personally appeared Vladislav G. Bykov, known to me or satisfactorily proven to be the persons whose names are subscribed to the within instrument and acknowledged that they executed the same for the purposes therein contained.

In witness whereof I hereunto set my hand and official seal.

Svetlana Bykov

State of _____

County of _____

On this the _____ day of _____, 20____, before me, the undersigned officer, personally appeared Svetlana Bykov, known to me or satisfactorily proven to be the persons whose names are subscribed to the within instrument and acknowledged that they executed the same for the purposes therein contained.

In witness whereof I hereunto set my hand and official seal.

Notary Public - State of _____
My Commission Expires: _____

CERTIFICATE OF ROAD AUTHORITY

I, _____ (Name), _____ (Title) of the

_____, (Agency), do hereby certify that this plat and access to location has been reviewed by me or my authorized agent and that this plat is recommended for approval.

By: _____ Date: _____

TITLE: _____

COUNTY PLANNING COMMISSION APPROVAL

Be it resolved by the Yankton County, South Dakota, Planning Commission that the above survey and plat is approved and the same be certified to the Yankton County Board of County Commissioners with the recommendation that said survey and plat be approved.

Dated this _____ day of _____, 20____.

Planning Commission Chair
Yankton County, South Dakota

COUNTY COMMISSIONER'S APPROVAL

Be it resolved by the County Board of Commissioners of Yankton County, South Dakota, that the above survey and plat be approved and the County Auditor of Yankton County, South Dakota is hereby authorized and directed to endorse on such plat a copy of the resolution and certify the same.

Dated this _____ day of _____, 20____.

Chairman, Board of County Commissioners
Yankton County, South Dakota

ZONING ADMINISTRATOR

The, undersigned, County Zoning Administrator of Yankton County, South Dakota, hereby certifies that this plat has been reviewed by me or my authorized agent in accordance with Section 513 (Farmstead Minimum Lot Requirements) of the Yankton County Subdivision Regulations, and TRACT 1 OF BYKOV ADDITION IN THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 93 NORTH, RANGE 57 WEST OF THE 5TH P.M., YANKTON COUNTY, SOUTH DAKOTA.

Zoning Administrator
Yankton County, South Dakota

COUNTY AUDITOR CERTIFICATE

I, do hereby certify that the above certificate of approval is true and correct including the signature thereon.

Dated this _____ Day of _____, 20____.

County Auditor
Yankton County, South Dakota

COUNTY TREASURER'S CERTIFICATE

I, the Treasurer of Yankton County, South Dakota, do hereby certify that all taxes which are liens upon any land shown in the above plat, as shown by the records of my office have been paid in full.

Dated this _____ Day of _____, 20____.

TREASURER
Yankton County, South Dakota

DIRECTOR OF EQUALIZATION

I, the Director of Equalization of Yankton County, South Dakota, do hereby certify that a copy of the above and foregoing described plat has been filed in my office.

Dated this _____ Day of _____, 20____.

DIRECTOR OF EQUALIZATION
Yankton County, South Dakota

REGISTER OF DEEDS

Filed for record this _____ day of _____, 20____, at _____ o'clock, _____ m., and recorded in Book _____ of Plats on Page _____.

REGISTER OF DEEDS
Yankton County, South Dakota



PREPARED BY:
Meyer Land Surveying, LLC
45246 Hwy 44
Parker, SD 57053
Phone: (605) 310-9401

PLAT PERMIT

Longitude

-97.54827856174705

Latitude

42.879237564517375

Permit Number

PLAT2544

Parcel Number

13.014.600.110

Permit Status

Approved Active

Permit Fee

100

Total Due

100

Was fee paid?

Yes

Receipt Number

5834

Application Accepted By

Bill Conkling

Site Plan Checked By

Gary Vetter

Is location in floodplain?

No

Existing Zoning

LOW DENSITY RESIDENTIAL

Size of the Current Parcel

1

Current Legal Description

LT 11 BLK 1 & PARCEL A LT 11 BLK 1 SHERWOOD ACRES

Applicant Name

Vladislav Bykov

Applicant Phone

6053109401

Applicant Address

3408 E Madison St, Sioux Falls

Applicant Email Address

meyerlandsurveyingsd@gmail.com

Name of the Surveyor / Engineer

Eric Meyer

Surveyor / Engineer Address

45246 HWY 44, Parker

Surveyor / Engineer Phone

6053109401

Surveyor / Engineer Email

meyerlandsurveyingsd@gmail.com

Surveyor / Engineer Contact Person

Eric Meyer

Owner Name

Vladislav Bykov

Owner Phone

6053109401

Owner Address

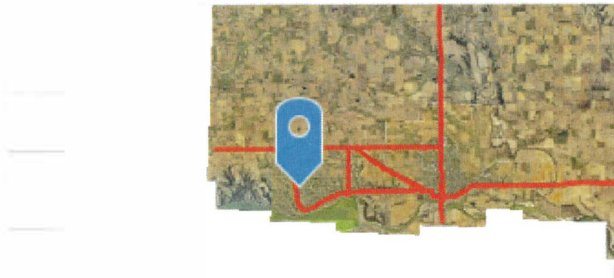
3408 E Madison St, Sioux Falls

Owner Email Address

meyerlandsurveyingsd@gmail.com

Location of Property

Lat: 42.879238 Lon: -97.548279



Powered by Esri

Section Township Range

14-93-57

Tract or Lot Number

Tract 1

Number of Acres Being Platted

2

Addition Name

Bykov Addition

How is the Property Currently Being Used

LD

How Will the Property Be Used

LD

Is this Property an Existing Farmstead

No

If a Farmstead, How Many Acres Surround it

0

Has the Plat Been Approved By the City of Yankton

No

Is Owner Signature Notarized

Yes

Do you have Signatures and Approval from the Road Authority

Yes

Do you have the County Treasurer's Signature

Yes

Insert Plat Here

PDF

bykov plat.pdf
1.2MB

Applicant Signature

A handwritten signature in black ink, appearing to read "Chris B. [unclear]". The signature is fluid and cursive, with a prominent diagonal stroke across the middle.

ApplicantSignature-.jpg

Owner Signature

A handwritten signature in black ink, appearing to read "S. [unclear]". The signature is cursive and somewhat stylized, with a large initial letter.

OwnerSignature-.jpg

Date of Application Submission

Oct 2, 2025